

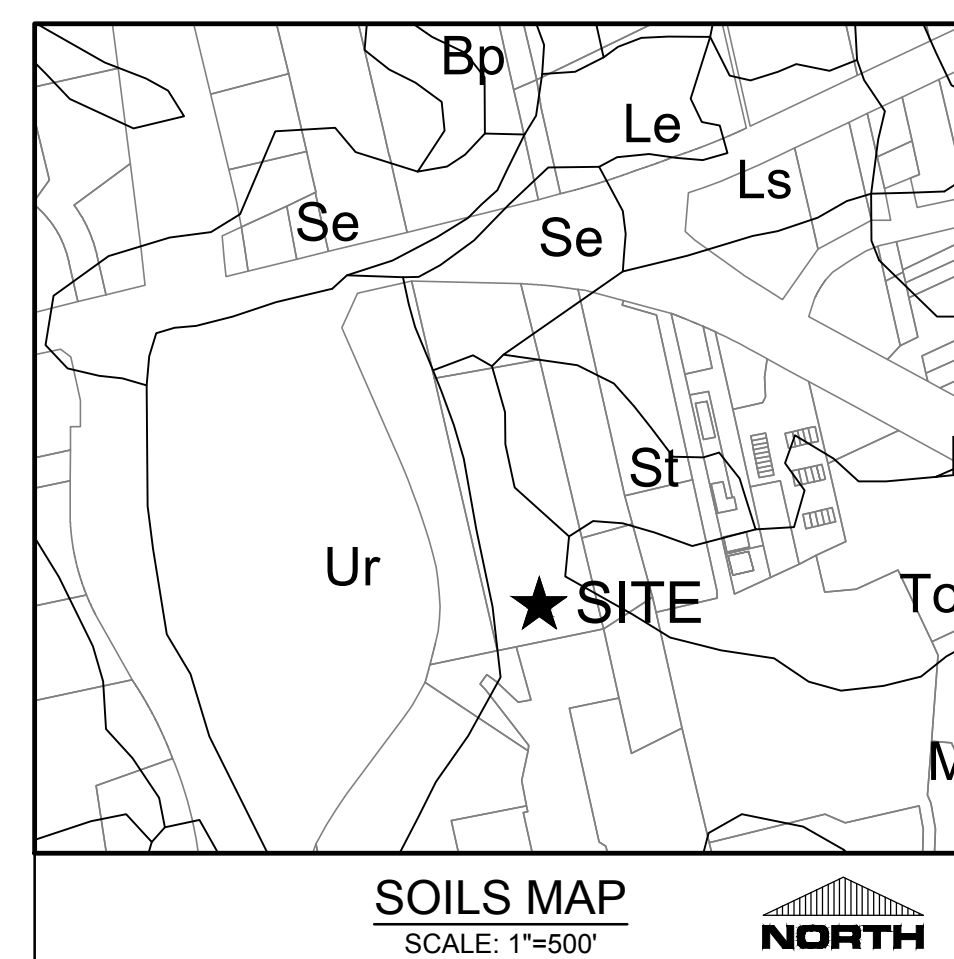
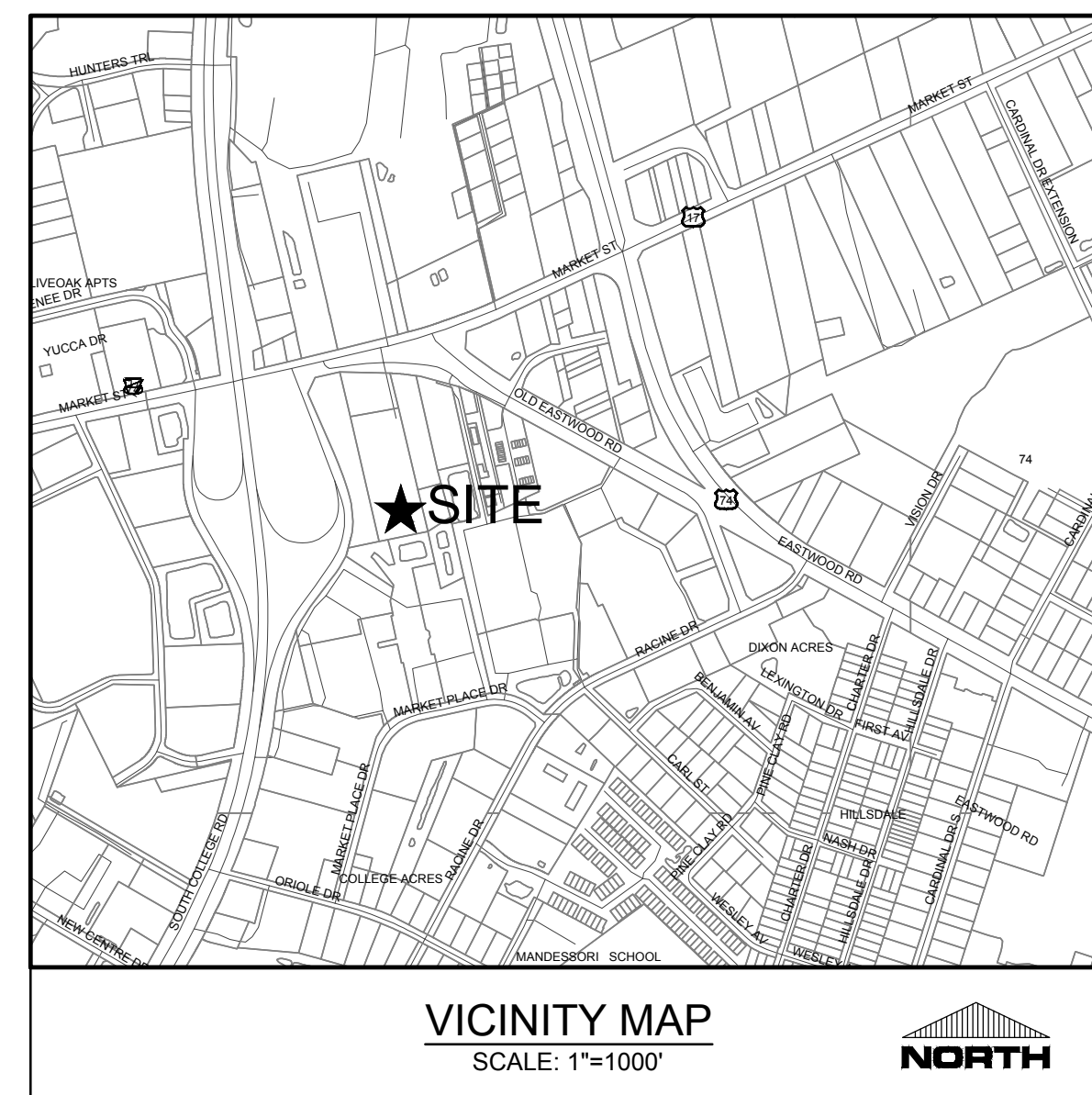
GARRIS ROAD BOAT STORAGE

25 GARRIS ROAD
WILMINGTON, NORTH CAROLINA 28403

CITY TRC DESIGN DOCUMENTS

OCTOBER 2020

PROJECT ADDRESS:
25 GARRIS ROAD
WILMINGTON, NC 28403



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: BRIAN CHAMBERS/ NICOLE SMITH, PLANNERS
PH: 910-341-4695

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

TIME WARNER CABLE
PH: 910-763-4638

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan		 Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN
Name	Date	
Planning		Date: _____ Permit # _____
Traffic		
Fire		Signed: _____

OWNER / DEVELOPER:
GARRIS ROAD STORAGE HOLDINGS II, LLC
5826 SAMET DRIVE, SUITE 105
HIGH POINT, NORTH CAROLINA 27265
ATTN: CHARLES BERRY (704) 496-9617

SURVEYOR, ENGINEER (CIVIL), & LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROB BALLAND, P.E. (910) 791-6707
ATTN: ALLISON ENGBRETSON, ASLA (910) 791-6707
ATTN: CHRIS GAGNE, PLS (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0 - C-1.1	GENERAL AND NPDES NOTES
C-2.0	SITE INVENTORY PLAN
C-2.1	SITE PLAN
C-3.0 & C-3.1	GRADING DRAINAGE & EC PLANS
C-4.0	UTILITY PLAN
C-5.0 - C-5.3	SITE DETAILS
C-5.4	CFPUA DETAILS
L-1.0	TREE REMOVAL PLAN
L-2.0	LANDSCAPE PLAN

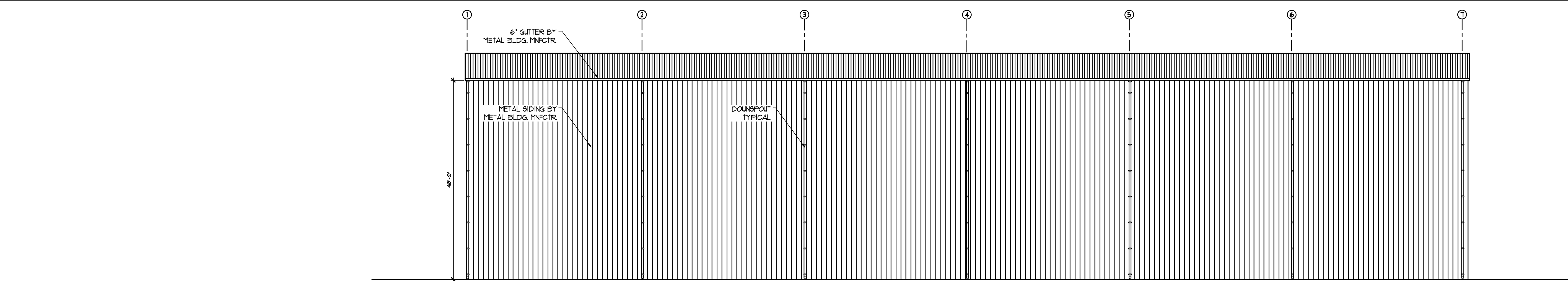
PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.

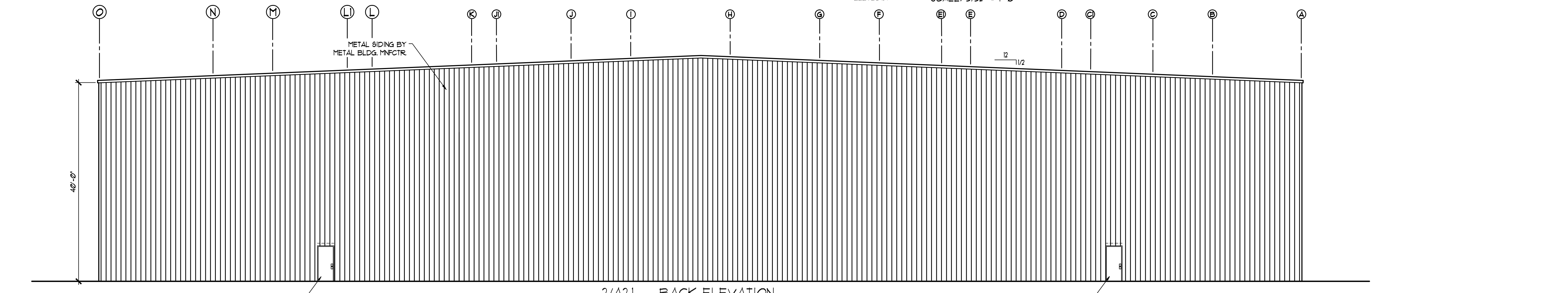
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 17402.PE



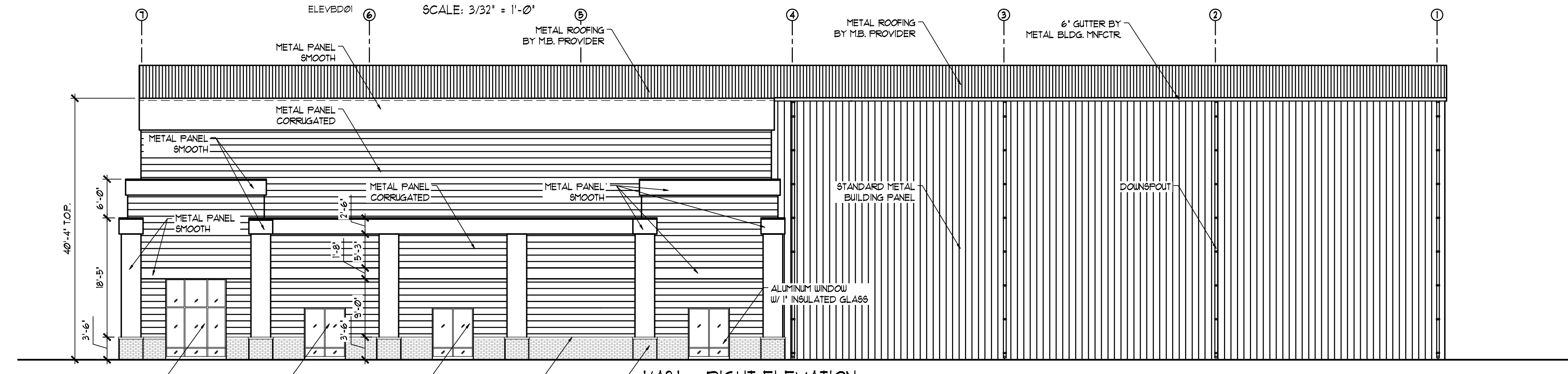
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



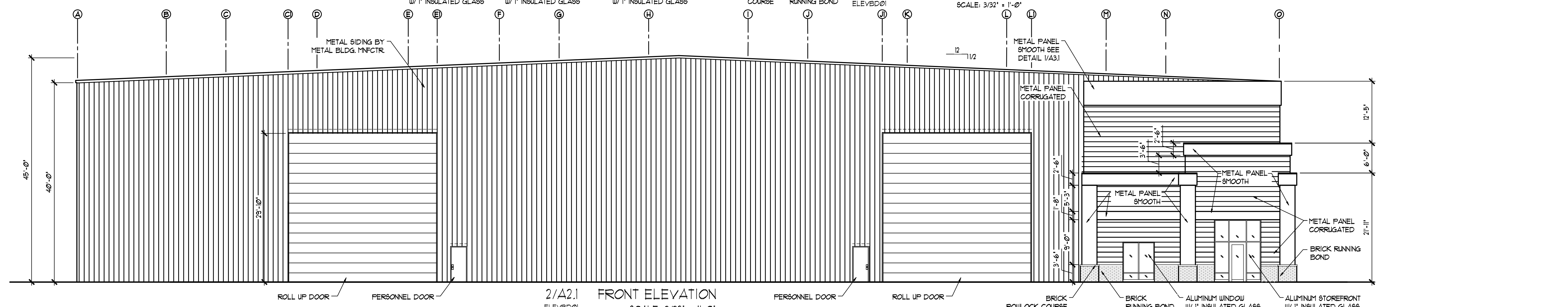
1/A2.1 LEFT ELEVATION
ELEVBD01 SCALE: 3/32" = 1'-0"



2/A2.1 BACK ELEVATION
ELEVBD01 SCALE: 3/32" = 1'-0"

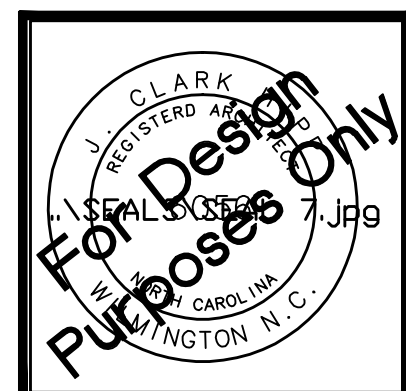


1/A2.1 RIGHT ELEVATION
ELEVBD01 SCALE: 3/32" = 1'-0"

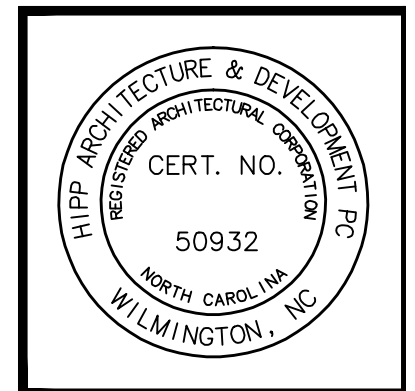


2/A2.1 FRONT ELEVATION
ELEVBD01 SCALE: 3/32" = 1'-0"

HIPP ARCHITECTURE & DEVELOPMENT, PC
228 N. FRONT STREET, SUITE 301
WILMINGTON, NC 28401
(910) 763 8968 VOICE
(910) 777 5430 FAX
THIS DRAWING IS THE PROPERTY OF HIPP ARCHITECTURE & DEVELOPMENT, PC AND IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE ARCHITECT. © 2009



SCHEMATIC DESIGN FOR
BOAT STORAGE FACILITY
20 GARRIS ROAD
WILMINGTON, NC 28403



ELEVATIONS

PROJECT #
A2.1
DATE: 09 JANUARY 2020

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION. Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

GROUND STABILIZATION SPECIFICATION

Table comparing Temporary Stabilization and Permanent Stabilization methods and materials.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction...
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants...
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

- EQUIPMENT AND VEHICLE MAINTENANCE**
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible...
4. Collect all spent fluids...
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

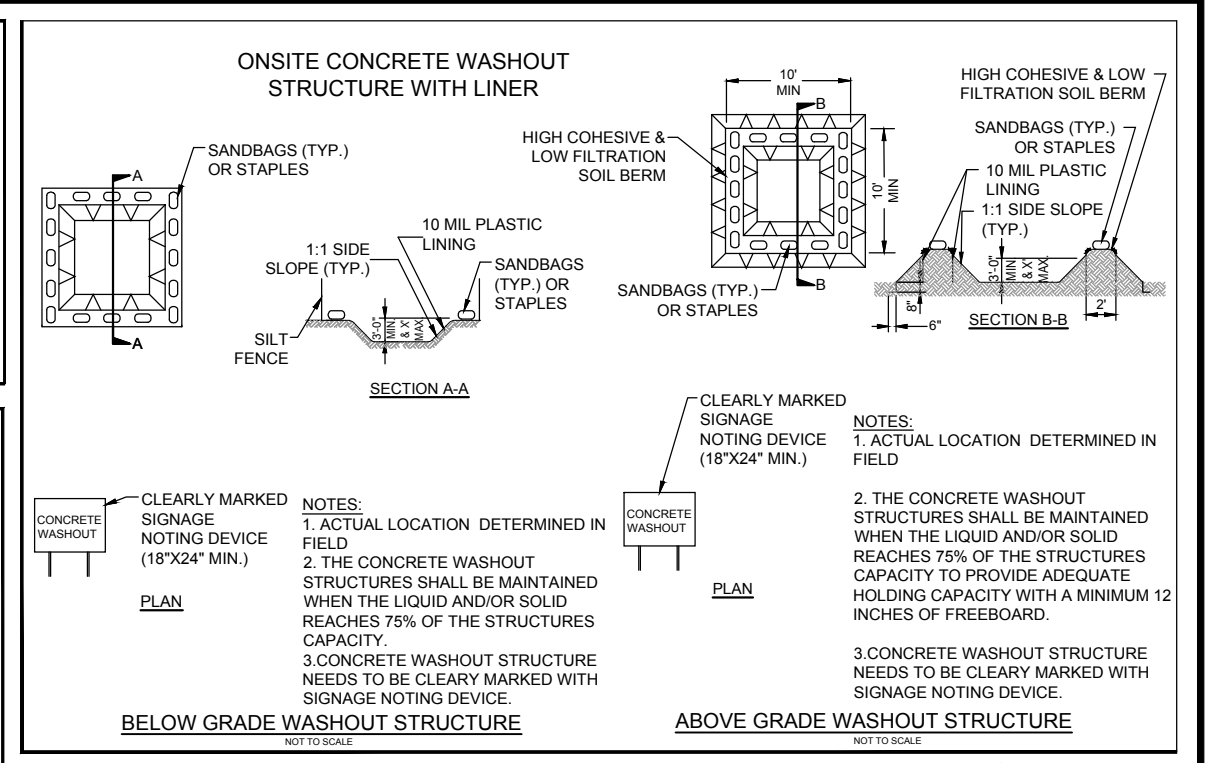
- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
1. Never bury or burn waste.
2. Provide a sufficient number and size of waste containers...
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters...
4. Locate waste containers on areas that do not receive substantial amounts of runoff...
5. Cover waste containers at the end of each workday...
6. Anchor all lightweight items...
7. Empty waste containers as needed to prevent overflow...
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
1. Do not dump paint and other liquid waste into storm drains...
2. Locate paint washouts at least 50 feet away from storm drain inlets...
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately...
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
1. Install portable toilets on level ground, at least 50 feet away from storm drains...
2. Provide staking or anchoring of portable toilets during periods of high winds...
3. Monitor portable toilets for leaking and properly dispose of any leaked material.

- EARTHEN STOCKPILE MANAGEMENT**
1. Show stockpile locations on plans...
2. Protect stockpile with silt fence installed along toe of slope...
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet...

- HAZARDOUS AND TOXIC WASTE**
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover...
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



- CONCRETE WASHOUTS**
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue...
3. Manage washout from mortar mixers in accordance with the above item...
4. Install temporary concrete washouts per local requirements...
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections...
6. Locate washouts at least 50 feet from storm drain inlets...
7. Locate washouts in an easily accessible area...
8. Install at least one sign directing concrete trucks to the washout...
9. Remove leavings from the washout when at approximately 75% capacity...
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers...
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible...
4. Do not stockpile these materials onsite.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day...

Table with 3 columns: Inspect, Frequency, and Inspection records must include. Rows include rain gauge, E&S Measures, Stormwater discharge, Perimeter of site, Streams or wetlands, and Ground stabilization measures.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit.

Table with 2 columns: Item to Document and Documentation Requirements. Rows include E&S Plan, grading completion, ground cover, maintenance, and corrective actions.

2. Additional Documentation

- In addition to the E&S Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours...
(a) This general permit as well as the certificate of coverage...
(b) Records of inspections made during the previous 30 days...
(c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion...

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported

- (a) Visible sediment deposition in a stream or wetland.
(b) Oil spills if:
- They are 25 gallons or more.
- They are less than 25 gallons but cannot be cleaned up within 24 hours.
- They cause sheen on surface waters...
(c) Releases of hazardous substances in excess of reportable quantities...
(d) Anticipated bypasses and unanticipated bypasses.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

Table with 2 columns: Occurrence and Reporting Timeframes (After Discovery) and Other Requirements. Rows include sediment deposition, oil spills, and various bypasses.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

Approved Construction Plan form with fields for Name, Date, Planning, Traffic, Fire, and Permit #.



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FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

Table with 2 columns: REVISIONS, REVISED PER CITY TRC COMMENTS. Includes revision number 9/2/20.

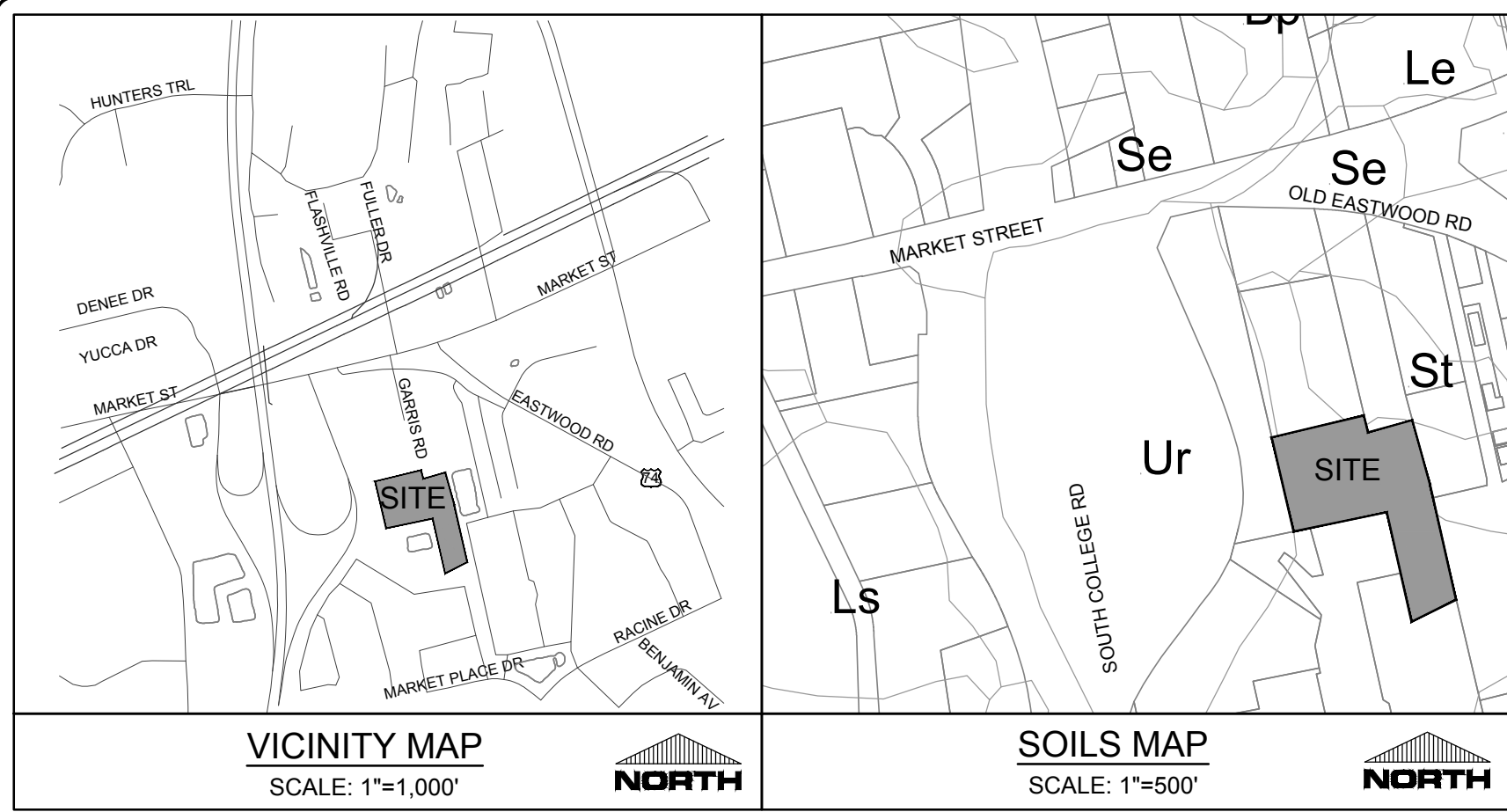
CLIENT INFORMATION: GARRIS ROAD STORAGE HOLDINGS II, LLC, 5826 SAMET DRIVE, SUITE 105, HIGH POINT, NC 27265

PARAMOUNT ENGINEERING INC. logo and contact information: 122 Cinema Drive, Wilmington, North Carolina 28403, (910) 791-6707.

NPDES NCG01 NOTES. GARRIS ROAD LOT 3R BOAT STORAGE, 25 GARRIS RD, WILMINGTON, NC

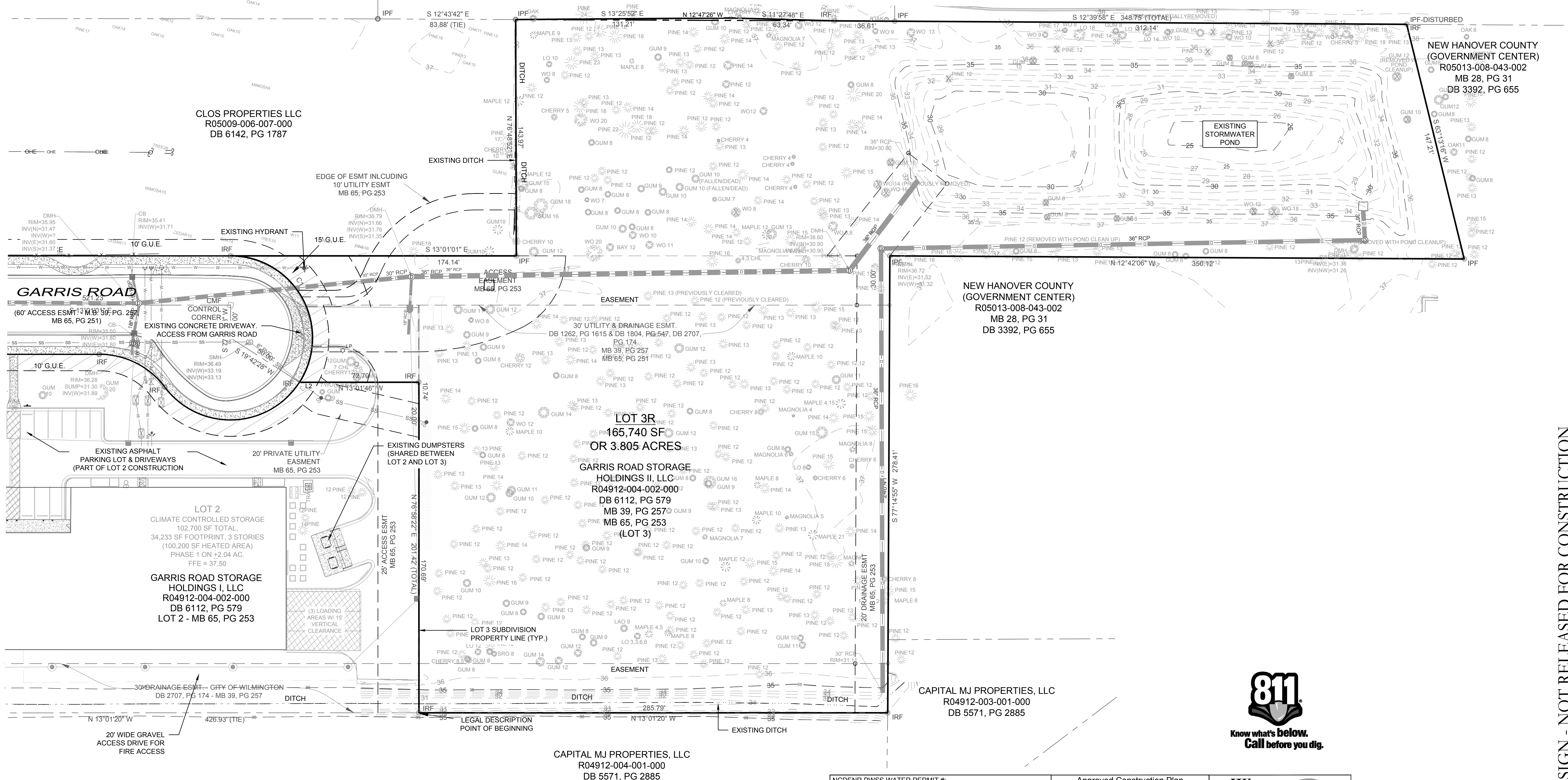
Table with 2 columns: PROJECT STATUS and DRAWING INFORMATION. Includes dates and drawing details.

Scale: C-1.1. PEI JOB#: 17402.PE



SMITH CREEK STATION, LLC
R05009-006-007-000
OUTPARCEL #4B
DETENTION POND SITE
MB 40, PG 90
DB 5534, PG 1835

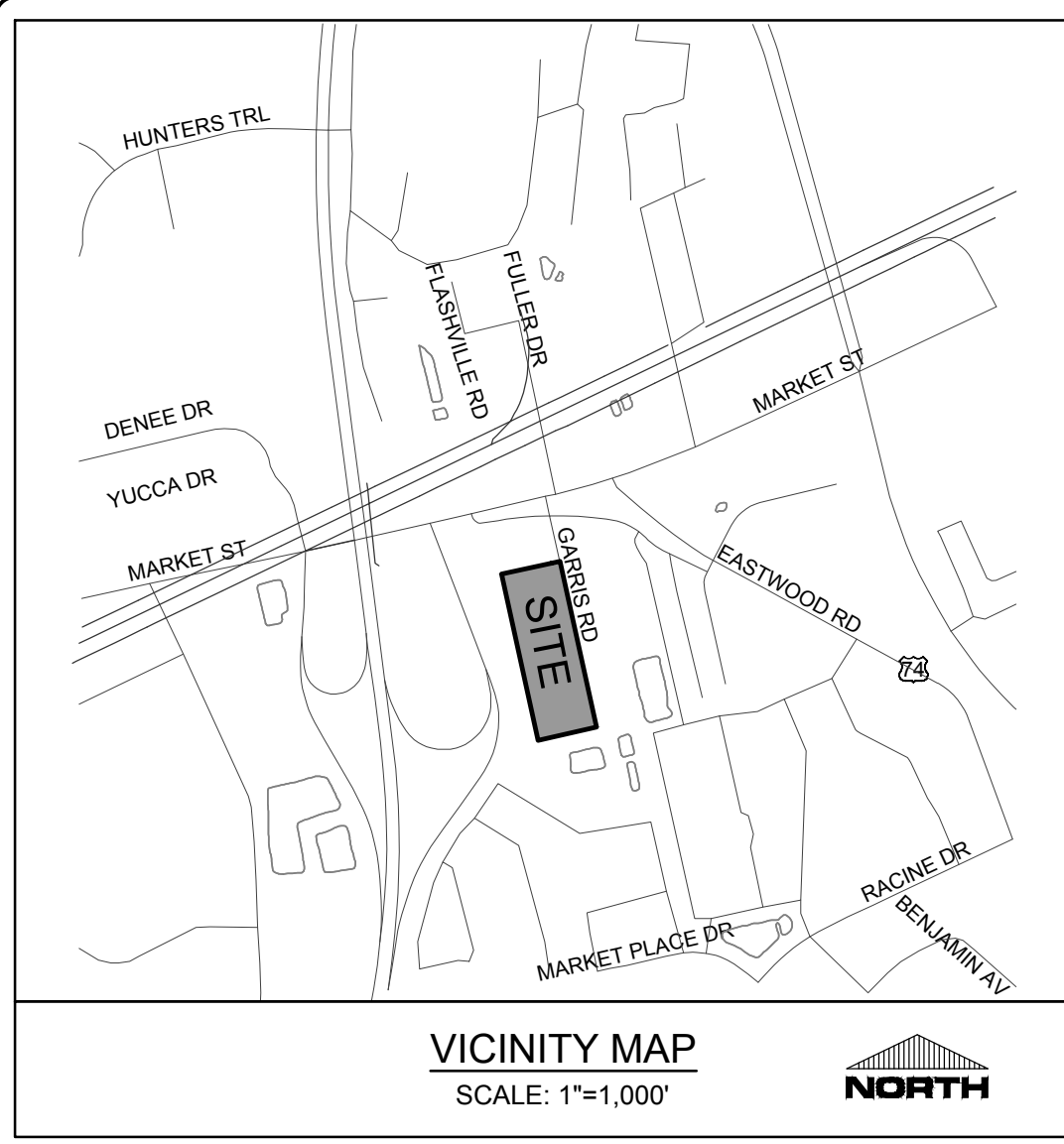
SITE INVENTORY DATA			
1. PREPARER OF THE PLAN:	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403	13. SOILS:	MURVILLE FINE SAND (Mu) TORHUNTA LOAMY FINE SAND (To) (SEE SOILS MAP ABOVE)
2. APPLICANT NAME:	GARRIS ROAD STORAGE HOLDINGS II, LLC 5826 SAMET DRIVE, SUITE 105 HIGH POINT, NC 27265	14. CAMA AEC & ASSOCIATED SETBACKS:	N/A
3. SITE ADDRESS:	25 GARRIS ROAD WILMINGTON, NC 28403	15. CAMA LAND CLASSIFICATION:	URBAN
4. PROPERTY OWNER:	GARRIS ROAD STORAGE HOLDINGS II, LLC 5826 SAMET DRIVE, SUITE 105 HIGH POINT, NC 27265	16. CONSERVATION RESOURCES:	N/A
5. DEVELOPER:	SAME AS PROPERTY OWNER	17. LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE:	N/A
6. PROPERTY BOUNDARY:	SEE PLAN	18. LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS:	N/A
7. ZONING:	RB	19. SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES:	N/A
8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING):	SEE PLAN	20. SECTION 404 WETLANDS AND SECTION 10 WATERS:	N/A
9. VICINITY MAP:	SEE MAP ABOVE	21. PROTECTED SPECIES OR HABITAT:	N/A
10. TOPOGRAPHY:	SEE PLAN	22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED):	SEE PLAN & VICINITY MAP
11. 100 YEAR FLOOD PLAIN BOUNDARY:	SUBJECT PARCEL DOES NOT LIE WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720312500J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006		
12. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS:	SEE PLAN		



REVISIONS:	9/22/20
REVISED PER CITY TRC COMMENTS	
CLIENT INFORMATION:	GARRIS ROAD STORAGE HOLDINGS II, LLC 5826 SAMET DRIVE, SUITE 105 HIGH POINT, NC 27265
PROJECT STATUS:	CONCEPTUAL LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION:	DATE: 02/24/2020 SCALE: 1"=30' DRAWN BY: [REDACTED] CHECKED: [REDACTED]
PROJECT STATUS:	CONCEPTUAL LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION:
SEAL:	
APPROVED STORMWATER MANAGEMENT PLAN Date: _____ Permit #: _____ Signed: _____	
GRAPHIC SCALE SCALE: 1"=30' 	
C-2.0 PEI JOB#: 17402.PE	

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.	NCDENR PWSS WATER PERMIT #: WATER CAPACITY: _____ GPD DWQ SEWER PERMIT #: SEWER CAPACITY: _____ GPD SEWER SHED # AND PLANT: SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)	Approved Construction Plan Name: _____ Date: _____ Planning: _____ Traffic: _____ Fire: _____
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DIMENSIONAL REQUIREMENTS
 RB - REGIONAL BUSINESS
 - MINIMUM LOT AREA: 1 ACRE (2 ACRES FOR MINI-STORAGE)
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 25'
 - MINIMUM REAR SETBACK: 15', 25' WHEN ABUTTING RESIDENTIAL USE
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL USE
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'
 - ADDITIONAL BLDG HT. ALLOWED: 4' ADDITIONAL SETBACK FOR FIRST 10' IN HT. ADDED

BUILDING INFORMATION
 CONSTRUCTION TYPE: TYPE II-B (SPRINKLERED)
 NUMBER OF PROPOSED BUILDINGS: 1
 PROPOSED BUILDING SF (FOOTPRINT): 48,400 SF

PROPOSED HEIGHT: NOT TO EXCEED 45'-0" (10' ABOVE BASE ALLOWED HT.)

NUMBER OF STORIES: BLDG. IS A SHELL WITH BOAT STORAGE RACKS INSIDE STACKED 4 BOATS HIGH. EXTERIOR SHELL MADE TO LOOK LIKE IT IS MULTIPLE STORIES

LOT COVERAGE
 LOT COVERAGE MAXIMUM ALLOWED: 40%
 LOT COVERAGE PROVIDED: 36%

SITE PARKING
 MINI WAREHOUSING PARKING REQUIRED: 10 SPACES (48,400 SF/ 5,000 = 9.68)
 PARKING PROVIDED: 6 PARALLEL SPACES, INCLUDING THE REQUIRED, 1 ADA SPACE ADDED ON SHARED ACCESS EASEMENT; REMAINING 4 SPACES SHARED WITH ADJACENT CLIMATE CONTROLLED STORAGE BUILDING/SHARED OFFICE. BOAT STORAGE BLDG. NOT OPEN TO THE GENERAL PUBLIC

SITE INFORMATION
 OWNER INFORMATION: GARRIS ROAD STORAGE HOLDINGS II, LLC
 5826 SAMET DRIVE, SUITE 105
 HIGH POINT, NC 27265

APPLICANT INFORMATION: GARRIS ROAD STORAGE HOLDINGS II, LLC
 5826 SAMET DRIVE, SUITE 105
 HIGH POINT, NC 27265

PROJECT ADDRESS: 25 GARRIS ROAD
 WILMINGTON, NC 28403

TAX PARCEL IDENTIFICATION #: R05013-008-047-000
 RECORDED DEED BOOK: BK 6253 PG 638
 CURRENT ZONING: RB - REGIONAL BUSINESS
 EXISTING USE: UNDEVELOPED
 PROPOSED USE: BOAT STORAGE

TOTAL SITE AREA: 165,740 (3.80 +/- ACRES)

FLOOD INFORMATION: THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

CAMA LAND USE CLASSIFICATION: URBAN

LOT 3R IMPERVIOUS INFORMATION
 EXISTING IMPERVIOUS AREA: 0 SF

LOT 3 - PROPOSED IMPERVIOUS AREA
 TOTAL BUILDING (FOOTPRINT): 48,400 SF
 ON-SITE PARKING, GRAVEL ACCESS ROAD, & DRIVEWAYS: 52,600 SF
 ON-SITE SIDEWALKS: 1,600 SF
 LOT 3R SUB-TOTAL: 102,601 SF

*NOTE LOT 3R INCLUDES FORMER LT PROPERTIES LOT

GENERAL NOTES:
 1. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 2. ALL PLANNING MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 3. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 4. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 5. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 6. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 7. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 8. SOLID WASTE DISPOSAL IS BY EXISTING DUMPSTER THAT WILL BE SHARED BETWEEN LOT 2 AND LOT 3 STORAGE FACILITIES.
 9. IN COMPLIANCE WITH SECTION 18-286(A) THE SITE SHALL BE USED FOR 'DEAD' STORAGE ONLY (NO COMMERCIAL ENTERPRISE WILL BE CONDUCTED FROM INDIVIDUAL BOAT SLIPS)
 10. IN COMPLIANCE WITH SECTION 18-286(A) THERE SHALL BE NO OUTSIDE, UNCOVERED STORAGE.
 11. IN COMPLIANCE WITH SECTION 18-286(A) THERE SHALL BE NO STORAGE OF HAZARDOUS OR FLAMMABLE MATERIALS.

SMITH CREEK STATION, LLC
 R05009-006-007-000
 OUTPARCEL #4B
 DETENTION POND SITE
 MB 40, PG 90
 DB 5534, PG 1835

- KEY NOTES:**
- CONCRETE PAVING: REFER TO DETAILS
 - LIGHT DUTY ASPHALT PAVING: REFER TO DETAILS
 - EXISTING ASPHALT PAVING: REFER TO DETAILS
 - BOAT WASH AREA: REFER TO DETAILS
 - GRAVEL PAVING: REFER TO DETAILS
 - STANDARD 24" CURB & GUTTER: SEE DETAILS
 - PARALLEL PARKING SPACES: REFER TO DETAILS
 - FOUNDATION PLANTING: REFER TO LANDSCAPE PLAN
 - GARAGE DOORS
 - DOUBLE GATE FOR VEHICLES: REFER TO DETAILS; SIREN ACTIVATED/ KNOX BOX AS REQUIRED BY EMERGENCY SERVICES
 - 6" H. POWDER COATED ALUMINUM FENCE: REFER TO DETAILS
 - STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
 - GRAVEL/PAVING FIRE TRUNAROUND: REFER TO DETAILS
 - ONE-WAY TRAFFIC SIGN/DO NOT ENTER SIGN
 - ADA ACCESSIBLE ROUTE
 - 30" DRAINAGE & UTILITY EASEMENT
 - ADA PARKING SPACE
 - ADA PARKING SIGN
 - ADA PARKING AISLE STRIPING WITH BOLLARDS
 - 6" PIPE BOLLARDS REFER TO DETAILS

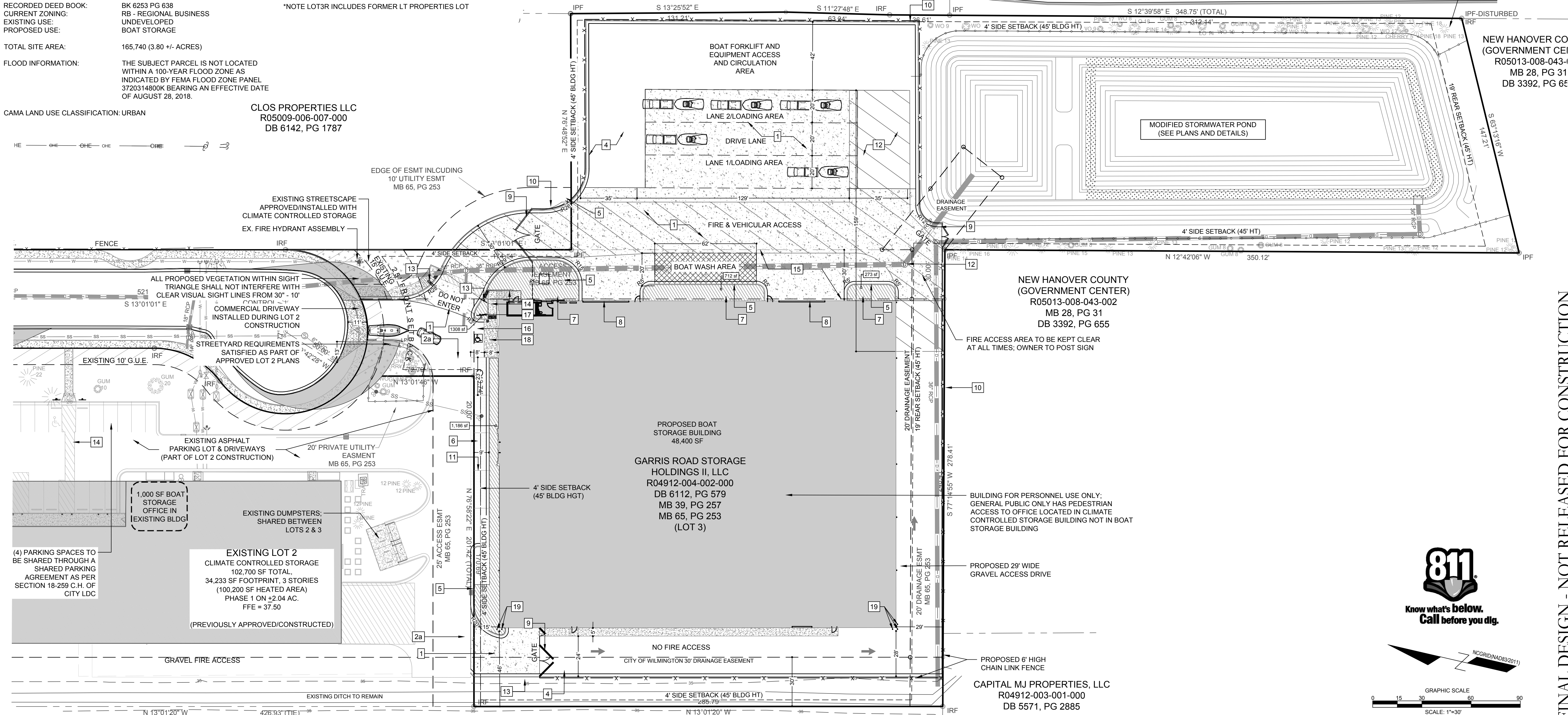
Approved Construction Plan
 Name: _____ Date: _____

Planning: _____
 Traffic: _____
 Fire: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

LEGEND:
 [Symbol] PROPOSED BUILDING
 [Symbol] PROPOSED GRAVEL
 [Symbol] PROPOSED CONCRETE
 [Symbol] PROPOSED FENCE
 [Symbol] PROPOSED TREE PROTECTION FENCE
 [Symbol] EXISTING CONTOURS



REVISIONS:
 REVISED PER CITY TRC COMMENTS

CLIENT INFORMATION:
GARRIS ROAD STORAGE HOLDINGS II, LLC
 5826 SAMET DRIVE, SUITE 105
 HIGH POINT, NC 27265

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6766 (F)
 NC License #: C-2846

SITE PLAN
 GARRIS ROAD LOT 3R BOAT STORAGE
 25 GARRIS RD, WILMINGTON, NC

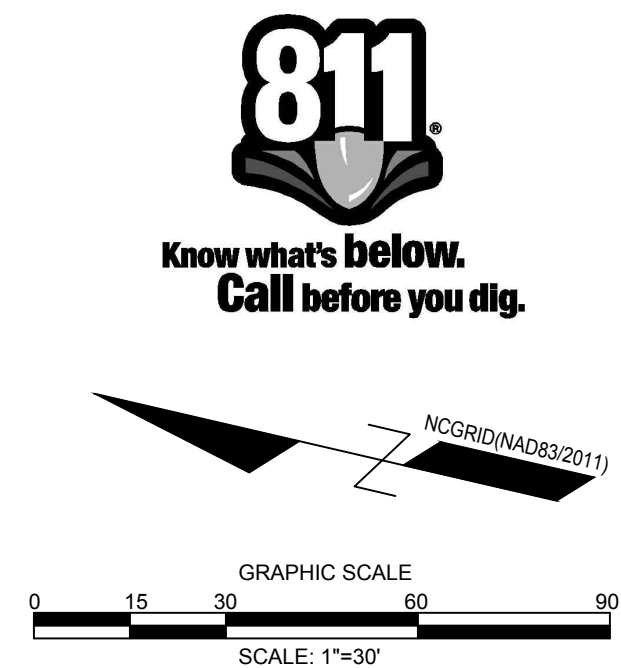
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 FINAL DESIGN LAYOUT:
 RELEASED FOR CONSTRUCTION

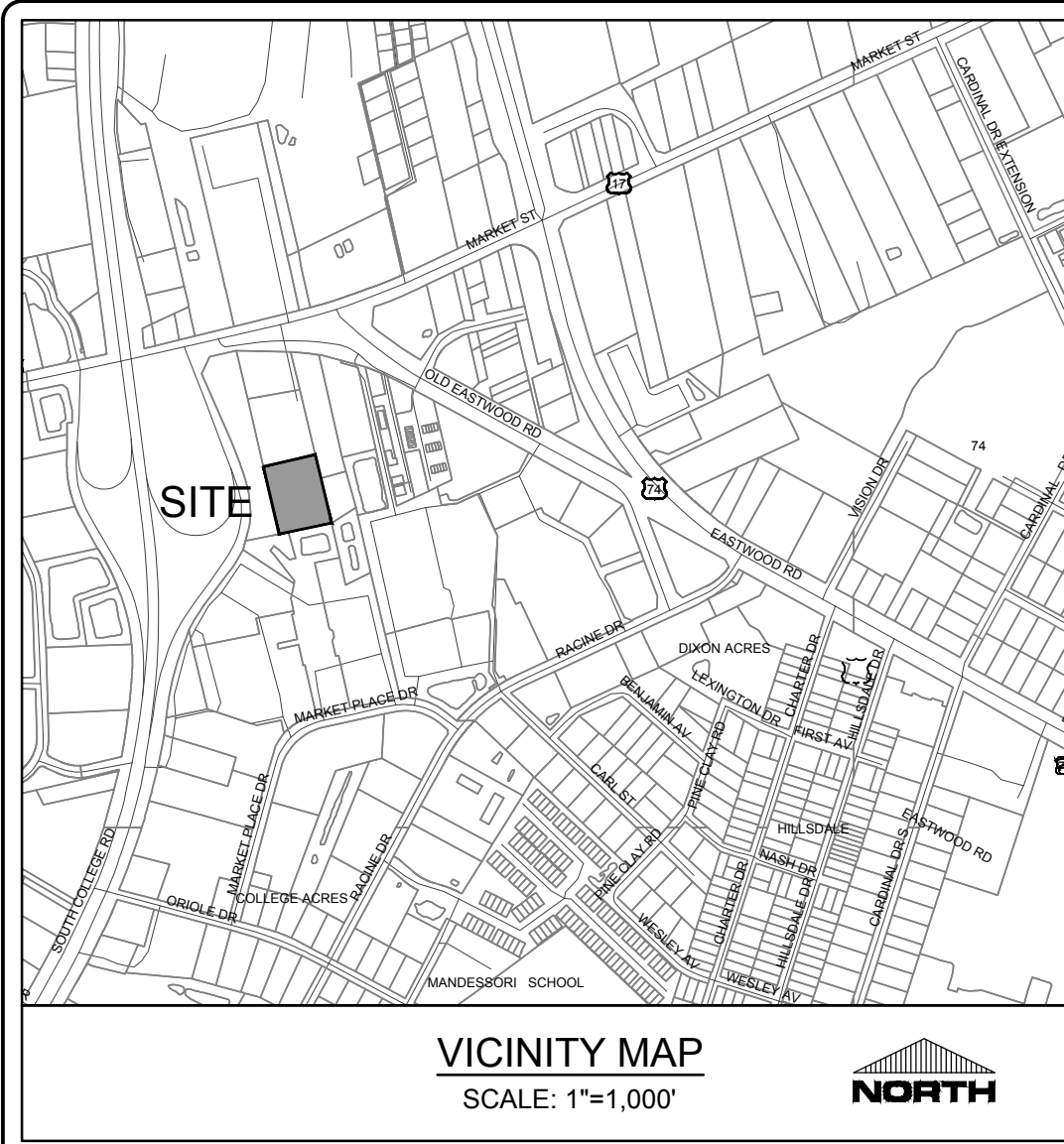
DRAWING INFORMATION:
 DATE: 02/27/2020
 SCALE: 1" = 30'
 DRAWING BY: [Name]
 CHECKED: [Name]

SEAL

C-2.1
 PEI JOB#: 17402.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION





- ASPHALT AREA NOTE:**
 1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- BUILDING PAD NOTE:**
 1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- STORMWATER NOTE:**
 1. THIS PROJECT DRAINS TO AN EXISTING OFF-SITE STORM WET DETENTION BASIN.
- GENERAL NOTES:**
 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, CITY OF WILMINGTON, AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE PARKING LOT IS PAVED.
 3. CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.

4. ALL PROPOSED SPOT ELEVATIONS SHOWN IN THE PARKING LOT ARE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB @ GUTTER FOR CURB SECTIONS, UNLESS NOTED OTHERWISE.
5. ALL ROOF DRAINS SHALL BE DIRECTED TOWARDS ON-SITE COLLECTION SYSTEM. NO ROOF DRAINS SHALL BE DIRECTED OFF-SITE WITHOUT ENTERING THE ON-SITE COLLECTION FIRST.
6. ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
7. THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 WT STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATION IF HDPE PIPE IS CHOSEN.
8. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING REPORT FOR GARRIS ROAD MINI STORAGE - WILMINGTON, NC, PREPARED BY ECS CAROLINAS, LLP, PROJECT NUMBER: 22.25596R1, AND DATED AUGUST 2, 2017 FOR SITE CONSTRUCTION RECOMMENDATIONS.
9. CONTRACTOR SHALL STAKE SILT FENCE ALONG LIMITS OF DISTURBANCE LINE. THE SILT FENCE LINETYPE IS OFFSET ON THE DRAWING FOR CLARITY.

SMITH CREEK STATION, LLC
 R05009-006-007-000
 OUTPARCEL #4B
 DETENTION POND SITE
 MB 40, PG 90
 DB 5534, PG 1835

SMITH CREEK STATION, LLC
 R05009-006-007-000
 TRACT 1
 (3RD REVISION)
 MB 40, PG 90
 DB 4893, PG 1784

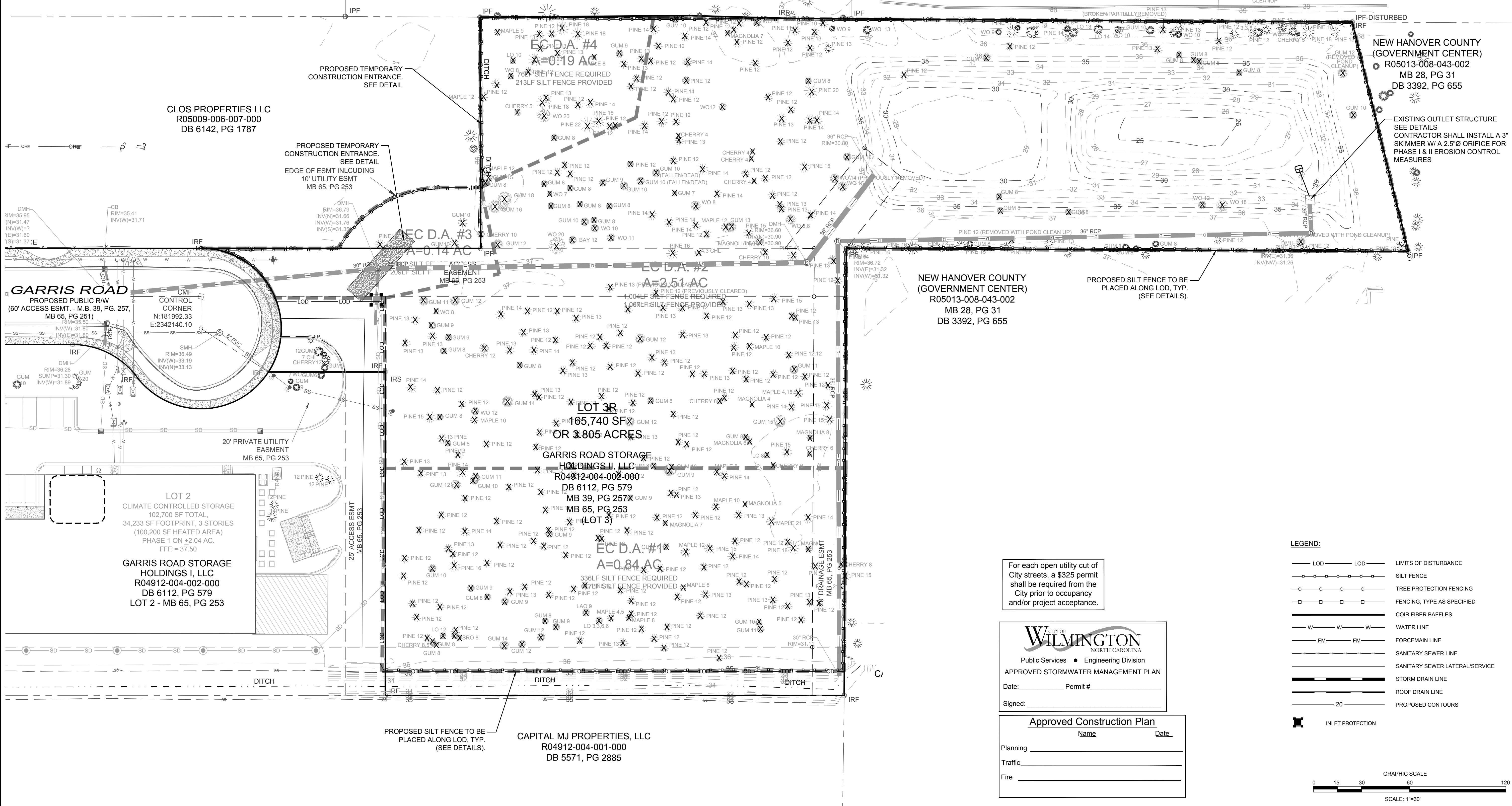
NEW HANOVER COUNTY
 (GOVERNMENT CENTER)
 R05013-008-043-002
 MB 28, PG 31
 DB 3392, PG 655

CLOS PROPERTIES LLC
 R05009-006-007-000
 DB 6142, PG 1787

PROPOSED TEMPORARY
 CONSTRUCTION ENTRANCE.
 SEE DETAIL
 10' UTILITY ESMT
 MB 65, PG 253

EXISTING OUTLET STRUCTURE
 SEE DETAILS
 CONTRACTOR SHALL INSTALL A 3"
 SKIMMER W/ A 2.5" Ø ORIFICE FOR
 PHASE I & II EROSION CONTROL
 MEASURES

NEW HANOVER COUNTY
 (GOVERNMENT CENTER)
 R05013-008-043-002
 MB 28, PG 31
 DB 3392, PG 655



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

LEGEND:

- LOD — LOD — LIMITS OF DISTURBANCE
- S — S — SILT FENCE
- T — T — TREE PROTECTION FENCING
- F — F — FENCING, TYPE AS SPECIFIED
- C — C — COIR FIBER BAFFLES
- W — W — WATER LINE
- FM — FM — FORCEMAIN LINE
- S — S — SANITARY SEWER LINE
- S — S — SANITARY SEWER LATERAL/SERVICE
- SD — SD — STORM DRAIN LINE
- SD — SD — ROOF DRAIN LINE
- 20 — 20 — PROPOSED CONTOURS
- ✕ — ✕ — INLET PROTECTION

GRAPHIC SCALE
 0 15 30 60 90 120
 SCALE: 1"=30'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

9/22/20	REVISED PER CITY TRC COMMENTS
---------	-------------------------------

CLIENT INFORMATION:

GARRIS ROAD STORAGE HOLDINGS II, LLC
 5826 SAMET DRIVE, SUITE 105
 HHIIG POINT, NC 27265

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6766 (F)
 NC License # C-2846

PH 1 EROSION CONTROL PLAN

GARRIS ROAD LOT 3R BOAT STORAGE
 25 GARRIS RD, WILMINGTON, NC

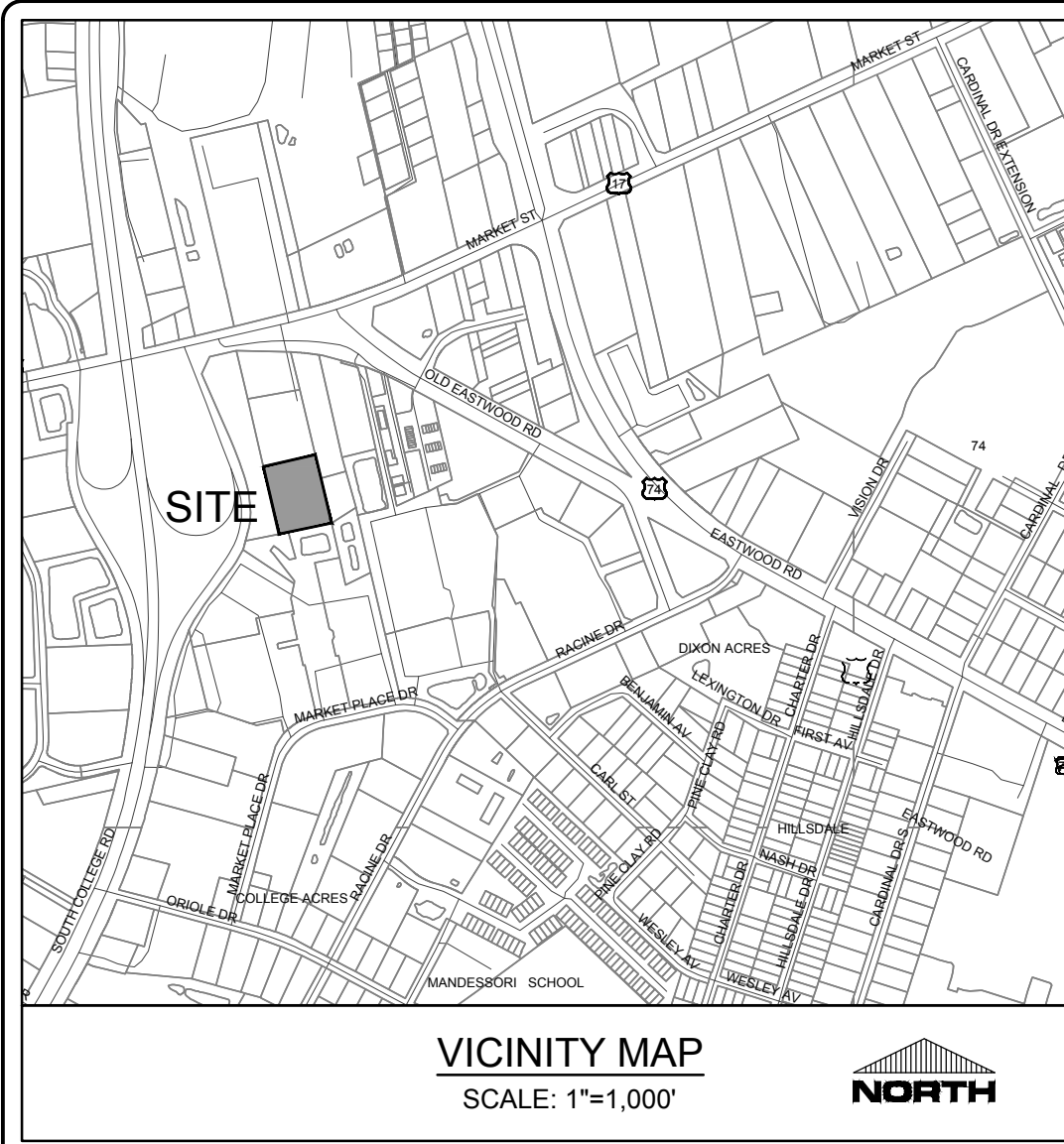
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SEAL

C-3.0

PEI JOB#: 17402.PE



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1. THIS PROJECT DRAINS TO AN EXISTING OFF-SITE STORM WET DETENTION BASIN.

GENERAL NOTES:

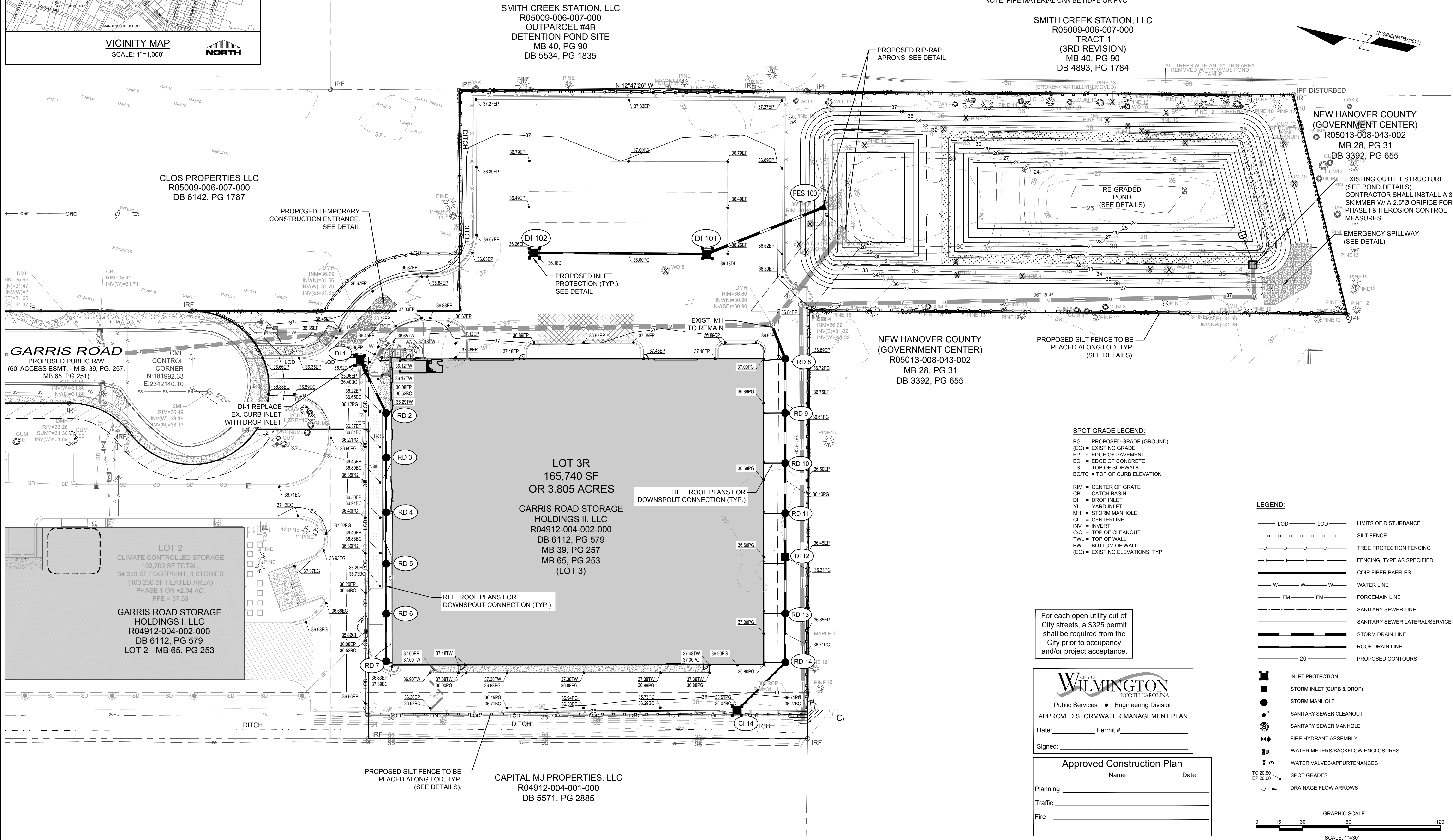
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STORM SEWER SCHEDULE:

Upstream Node	Downstream Node	Upstream Pipe Invert (ft)	Downstream Pipe Invert (ft)	Diameter (in)	Pipe Length (ft)	Slope (%)	Upstream Rim Elev (ft)
RD 2	DI 1	31.98	31.73	15	38.33	0.007	36.71
RD 3	RD 2	32.12	31.98	12	28.95	0.005	36.96
RD 4	RD 3	32.30	32.12	12	35.7	0.005	37.03
RD 5	RD 4	32.47	32.30	12	33.4	0.005	36.9
RD 6	RD 5	32.63	32.47	8	32.61	0.005	37.03
RD 7	RD 6	32.78	32.63	8	30.99	0.005	37.25
DI 101	FES 100	31.40	31.00	18	79.2	0.005	36.57
DI 102	DI 101	31.96	31.40	15	112.25	0.005	36.18
RD 8	EX. MH	31.87	31.75	18	23.77	0.005	36.72
RD 9	RD 8	32.05	31.87	15	35.28	0.005	36.58
RD 10	RD 9	32.21	32.05	15	32.67	0.005	36.45
RD 11	RD 10	32.37	32.21	15	32.67	0.005	36.36
DI 12	RD 11	32.51	32.37	15	28.36	0.005	36.31
RD 13	DI 12	32.69	32.51	15	36.97	0.005	36.61
RD 14	RD 13	32.85	32.69	12	31.75	0.005	36.72
CI 14	RD 14	33.07	32.85	12	44.26	0.005	35.48

*NOTE: PIPE MATERIAL CAN BE HDPE OR PVC



SPOT GRADE LEGEND:

- PG = PROPOSED GRADE (GROUND)
- EG = EXISTING GRADE
- EP = EDGE OF PAVEMENT
- EC = EDGE OF CONCRETE
- TS = TOP OF SIDEWALK
- BC/TC = TOP OF CURB ELEVATION
- RIM = CENTER OF GRATE
- CB = CATCH BASIN
- DI = DROP INLET
- YI = YARD INLET
- MH = STORM MANHOLE
- CL = CENTERLINE
- INV = INVERT
- C/O = TOP OF CLEANOUT
- TWL = TOP OF WALL
- BWL = BOTTOM OF WALL
- (EG) = EXISTING ELEVATIONS, TYP.

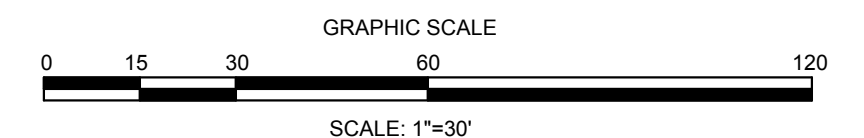
LEGEND:

- LOD - LOD - LIMITS OF DISTURBANCE
- SILT FENCE
- TREE PROTECTION FENCING
- FENCING, TYPE AS SPECIFIED
- COIR FIBER BAFFLES
- WATER LINE
- FORCEMAIN LINE
- SANITARY SEWER LINE
- SANITARY SEWER LATERAL/SERVICE
- STORM DRAIN LINE
- ROOF DRAIN LINE
- PROPOSED CONTOURS
- INLET PROTECTION
- STORM INLET (CURB & DROP)
- STORM MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FIRE HYDRANT ASSEMBLY
- WATER METERS/BACKFLOW ENCLOSURES
- WATER VALVES/APPURTENANCES
- SPOT GRADES
- DRAINAGE FLOW ARROWS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

9/22/20	
REVISED PER CITY TRC COMMENTS	

CLIENT INFORMATION:

GARRIS ROAD STORAGE HOLDINGS II, LLC
5826 S AMET DRIVE, SUITE 105
HIGH POINT, NC 27625

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6766 (F)
NC License # - C-2846

GRADING-DRAINAGE-EC PLAN

GARRIS ROAD LOT 3R BOAT STORAGE
25 GARRIS RD, WILMINGTON, NC

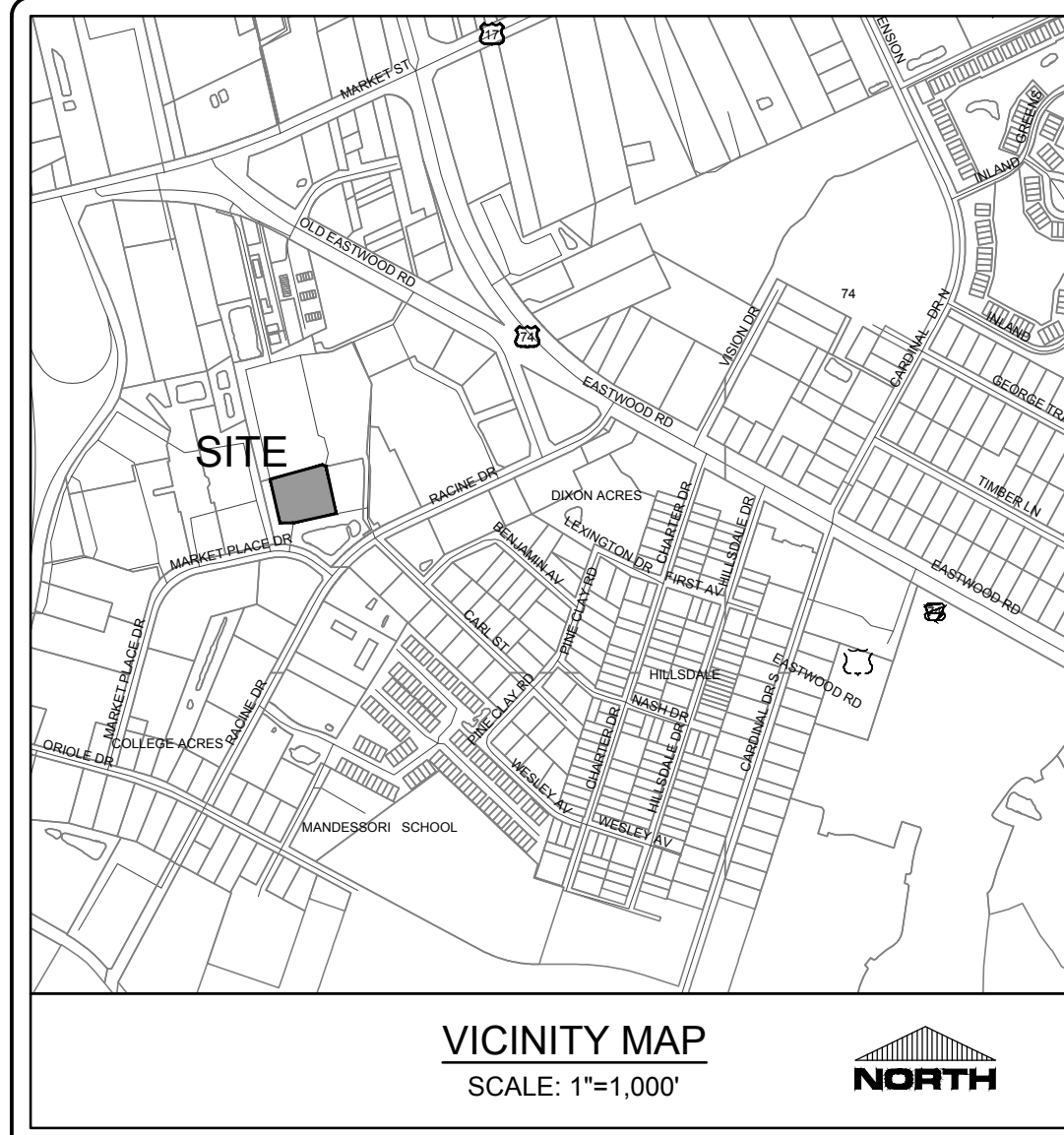
PROJECT STATUS:
CONCEPTUAL LAYOUT: _____
FINAL DESIGN LAYOUT: _____
RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
DATE: 09/22/2020
SCALE: 1"=30'
DRAWN BY: JAC
CHECKED: _____

SEAL:

C-3.1

PEI JOB#: 17402.PE



UTILITY INFORMATION

SANITARY SEWER
THIS PROJECT IS NOT CONNECTING TO SANITARY SEWER SINCE THERE IS NO WASTE GENERATE FROM THIS SITE. THERE IS AN EXISTING 6-INCH DIP SEWER SERVICE STUBBED TO THE SITE. SANITARY SEWER ALLOCATION IS PROVIDED BY CFPUA.

WATER

A 8-INCH WATER MAIN IS LOCATED WITHIN THE LONG SIDE OF GARRIS ROAD RIGHT OF WAY. THE PROPOSED BUILDING WILL HAVE A 8-INCH FIRE SERVICE AND A 1-INCH DOMESTIC SERVICE WILL BE CONNECTED TO THE EXISTING 8-INCH WATER MAIN. THE WATER SERVICE IS FOR SPIGOTS ONLY. DOMESTIC WATER ALLOCATION PROVIDED BY CFPUA.

FLOOD NOTE

THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314800J BEARING AN EFFECTIVE DATE OF APRIL 3, 2006.

UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)

- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

FIRE & LIFE SAFETY NOTES:

- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. THIS CAN BE SATISFIED BY INSTALLING THE BASE COURSE OF THE PROPOSED PAVEMENT SECTION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY CITY OF WILMINGTON FIRE & LIFE SAFETY FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING.
- CONSTRUCTION TYPE - IIB, BUILDING WILL BE SPRINKLED.
- ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.
- BUILDING CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____



Approved Construction Plan

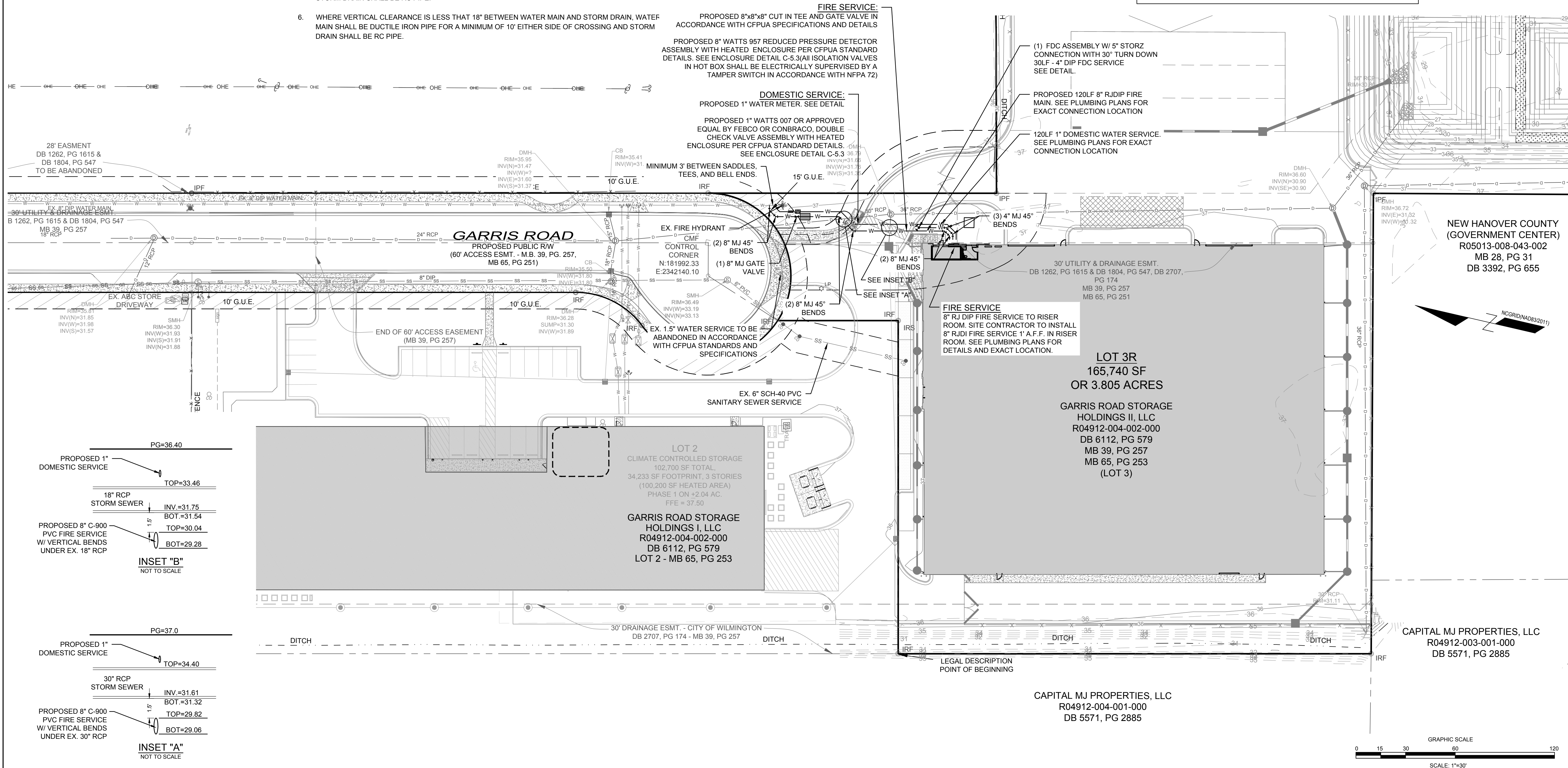
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD SEWER NOTES:

- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RW LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP, WITH PROTECTO 401 CERAMIC EPOXY LINING.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.
- CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.



REVISIONS:
REVISED PER CITY TRC COMMENTS 9/27/20

CLIENT INFORMATION:
GARRIS ROAD STORAGE HOLDINGS II, LLC
5826 S AMET DRIVE, SUITE 105
HIGHLI POINT, NC 27265

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
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UTILITY PLAN
GARRIS ROAD LOT 3R BOAT STORAGE
25 GARRIS RD, WILMINGTON, NC

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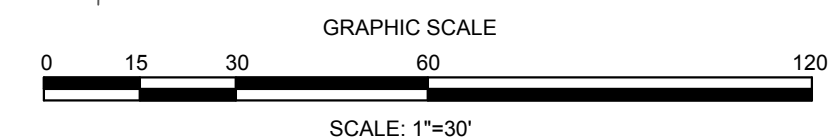
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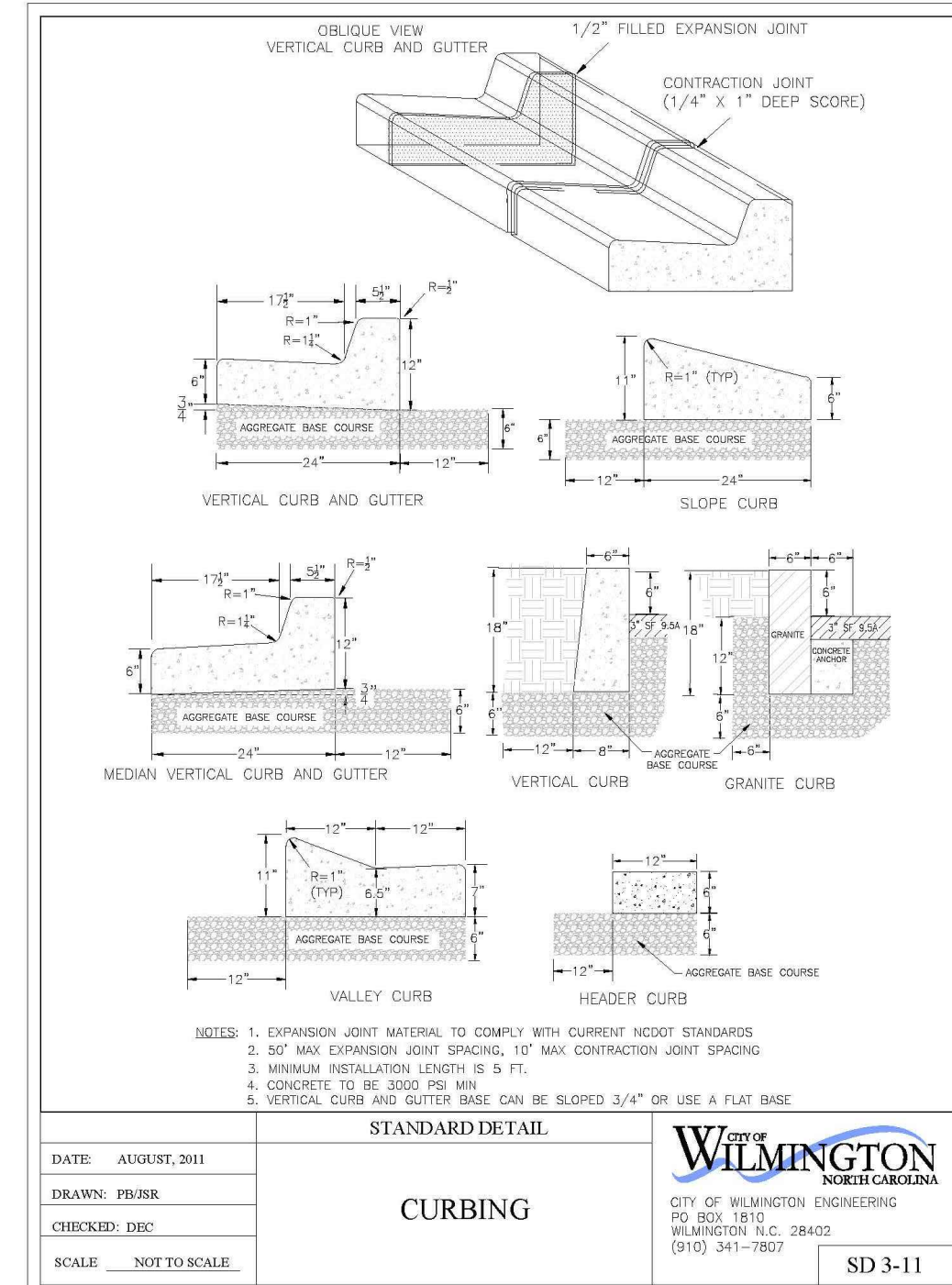
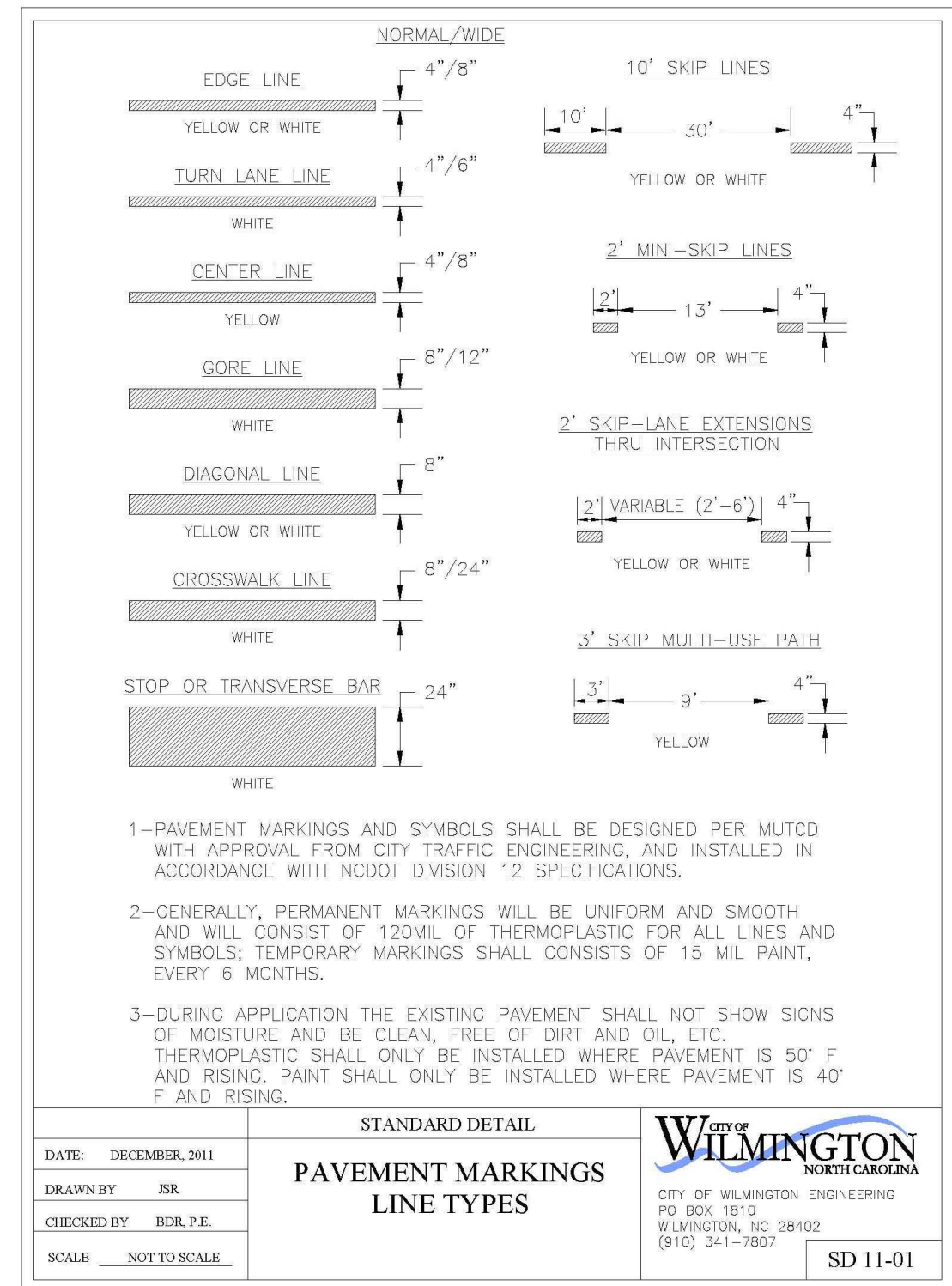
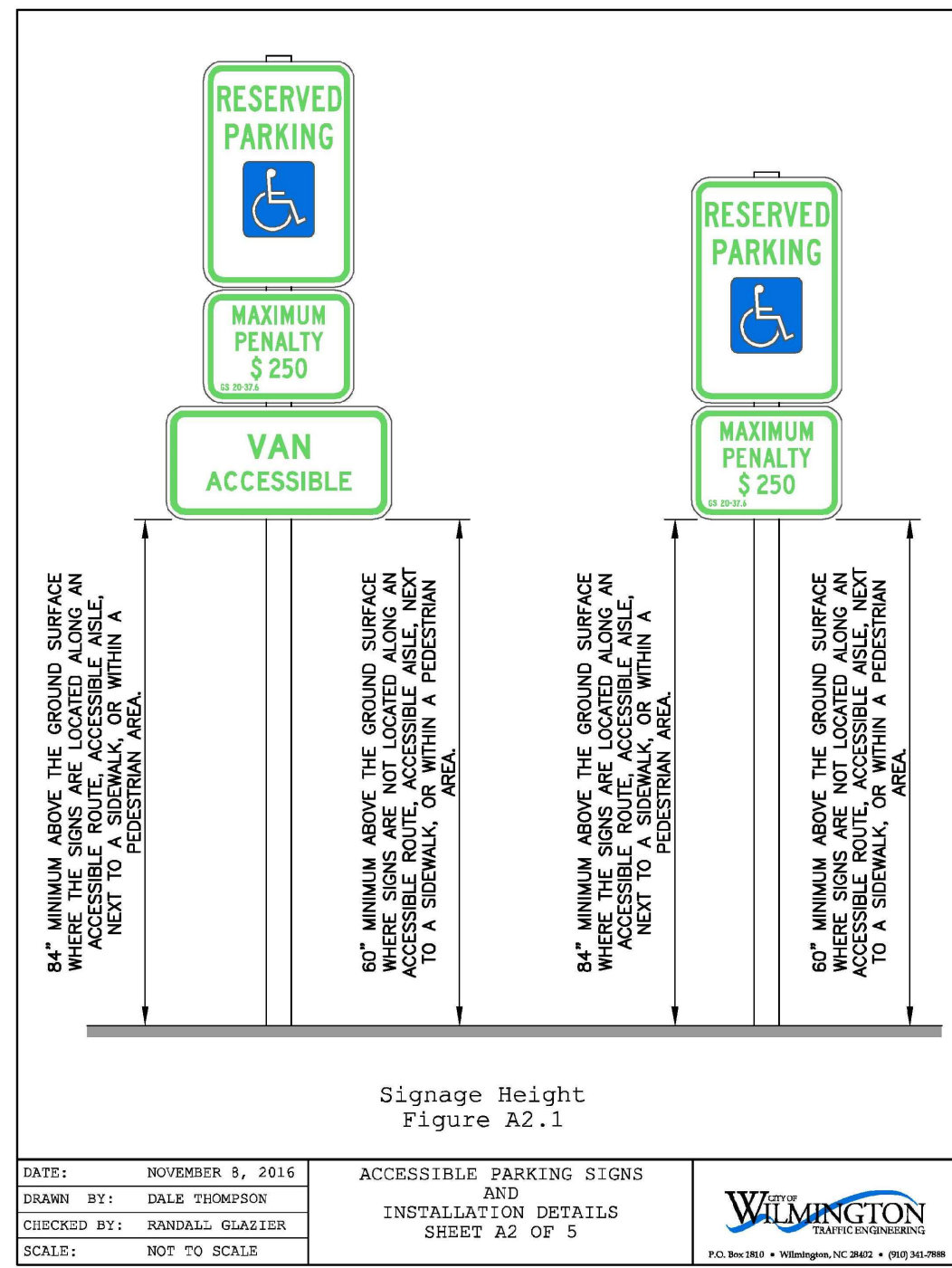
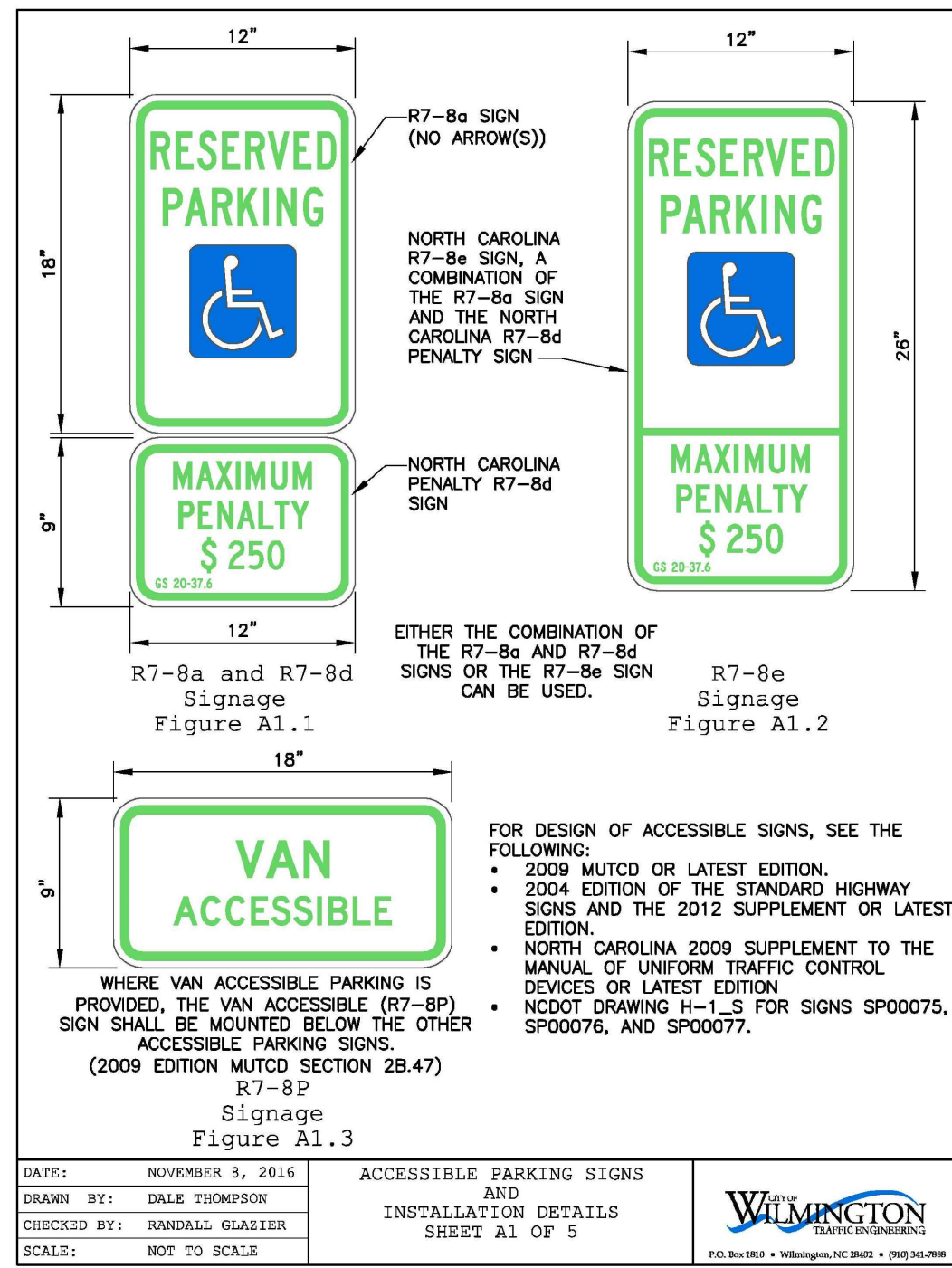
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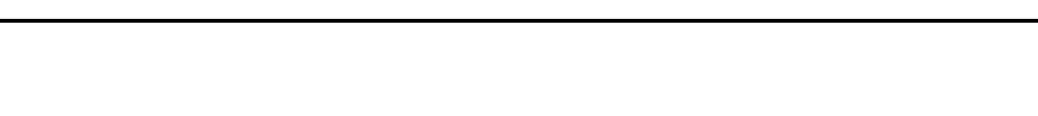
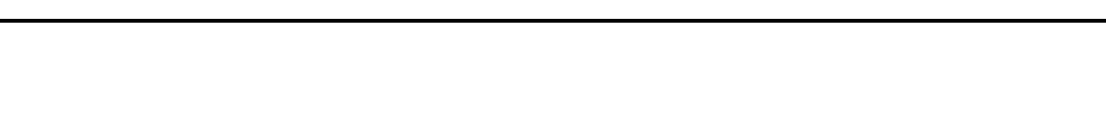
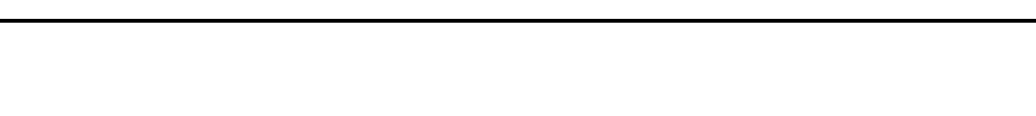
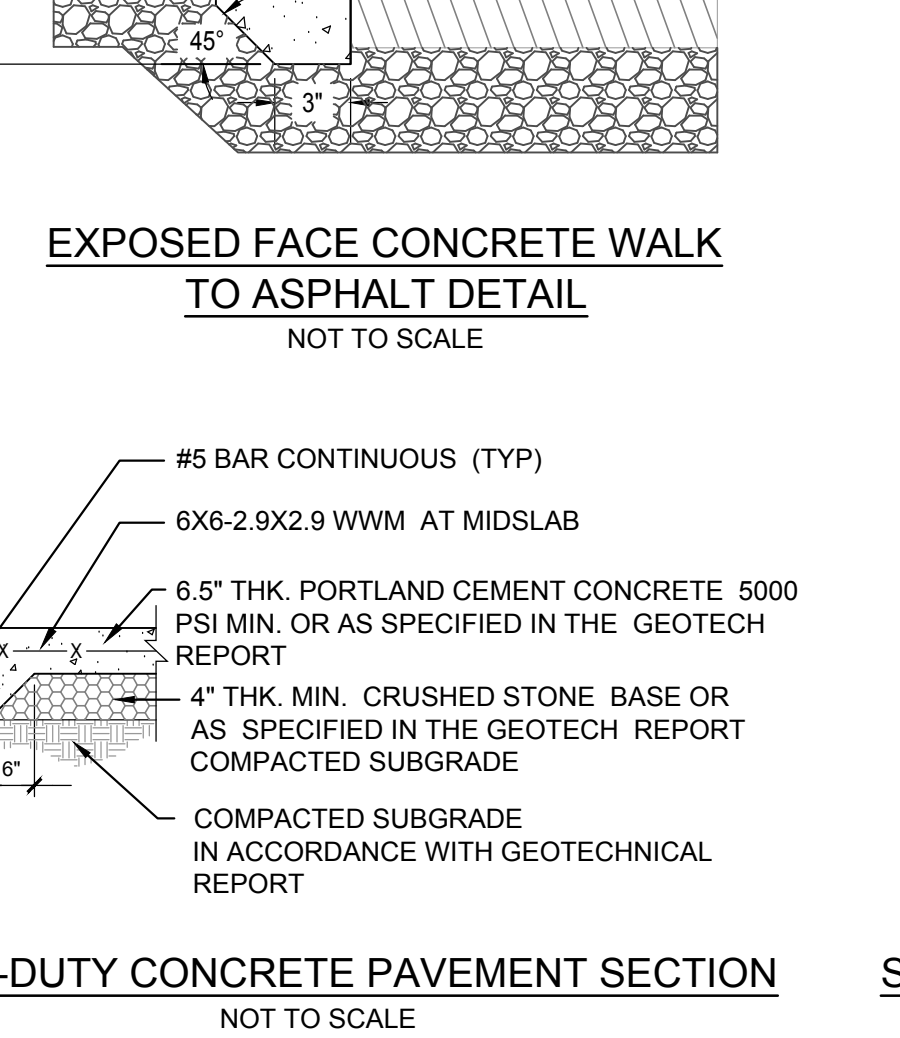
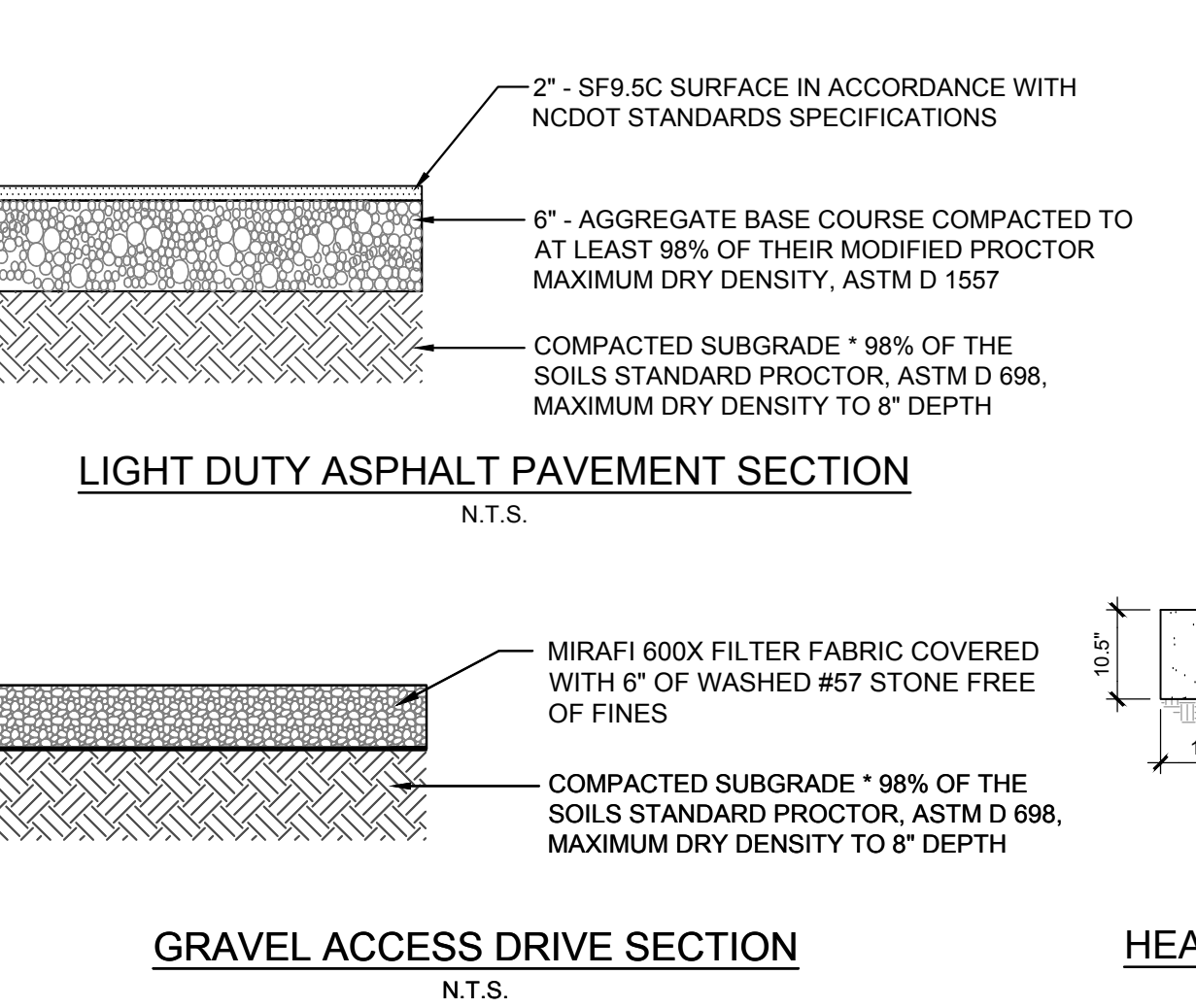
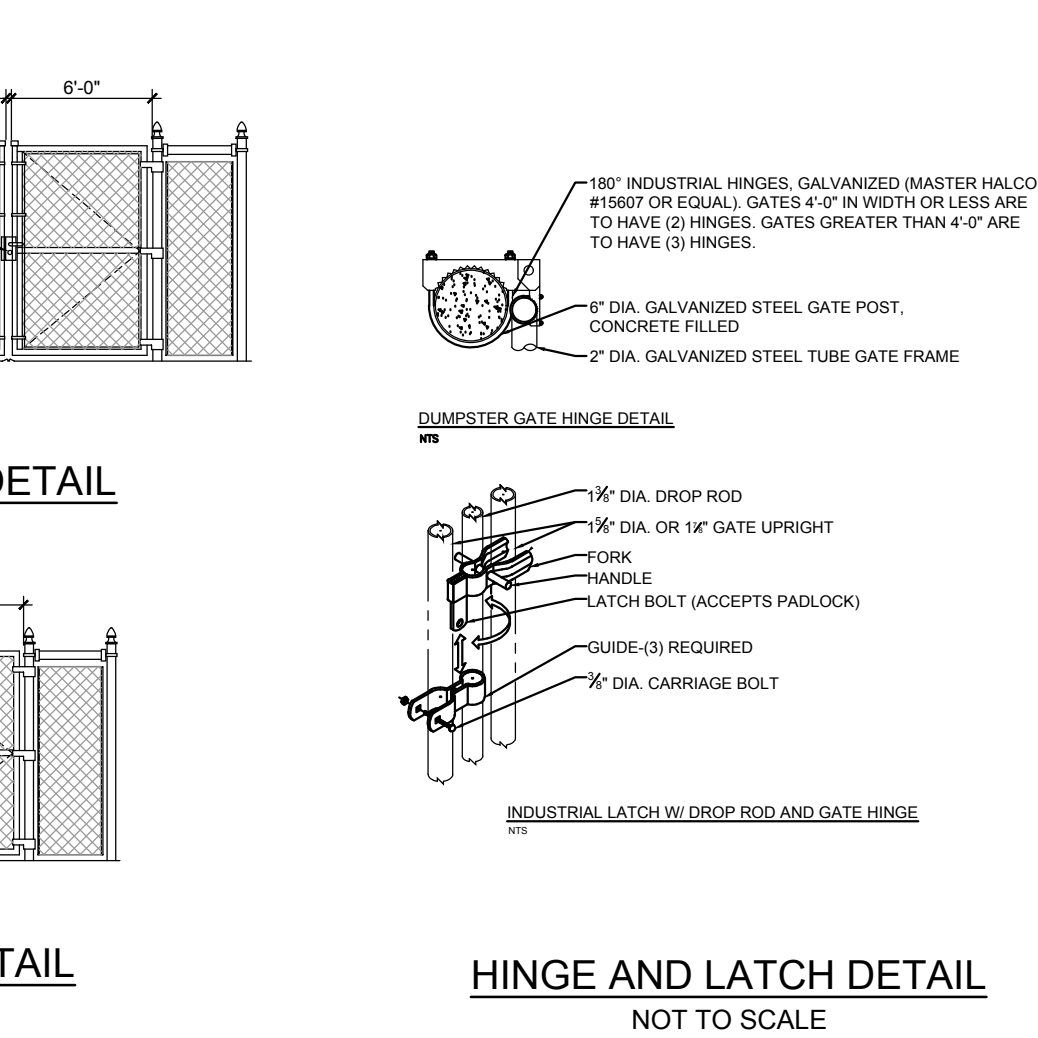
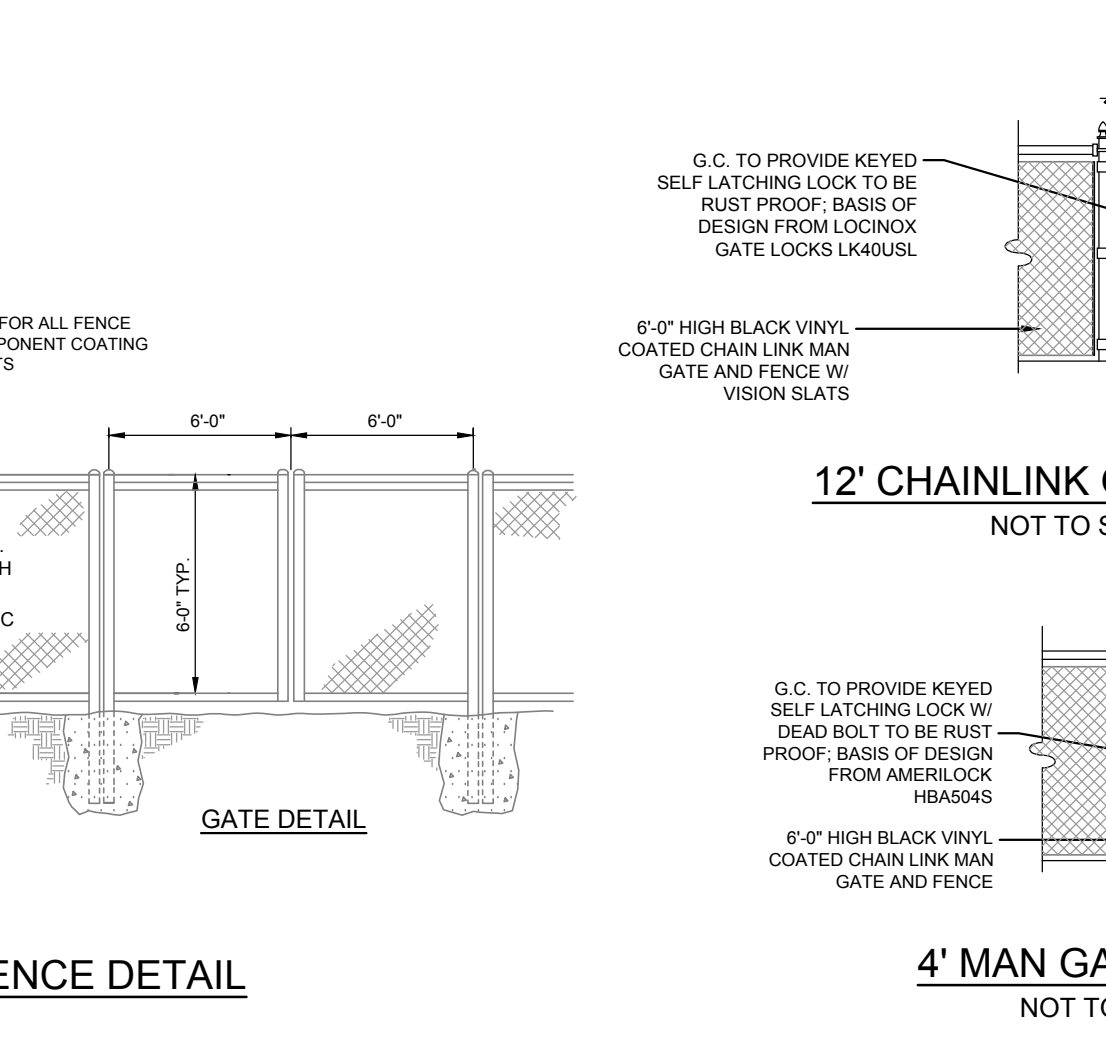
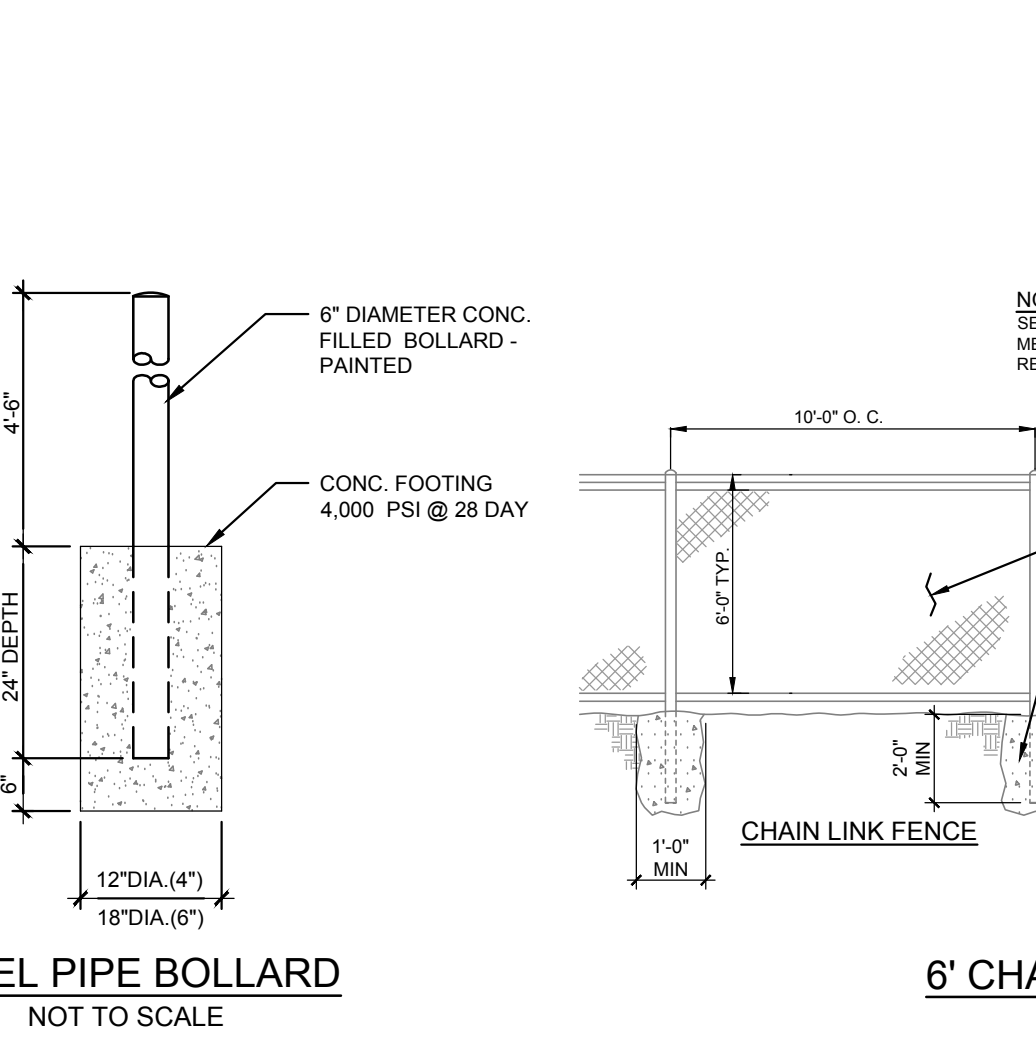
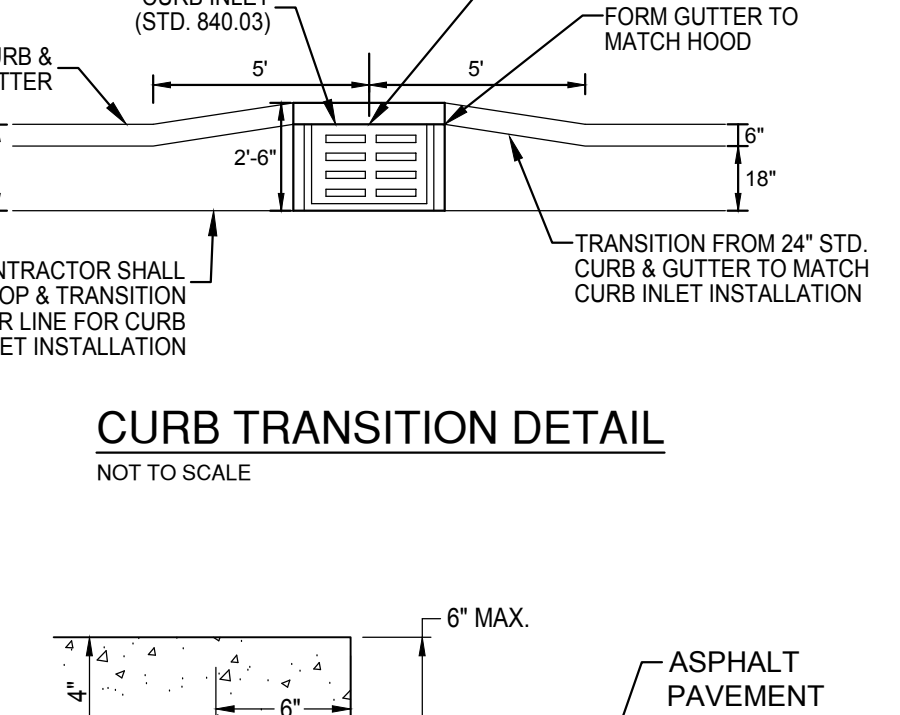
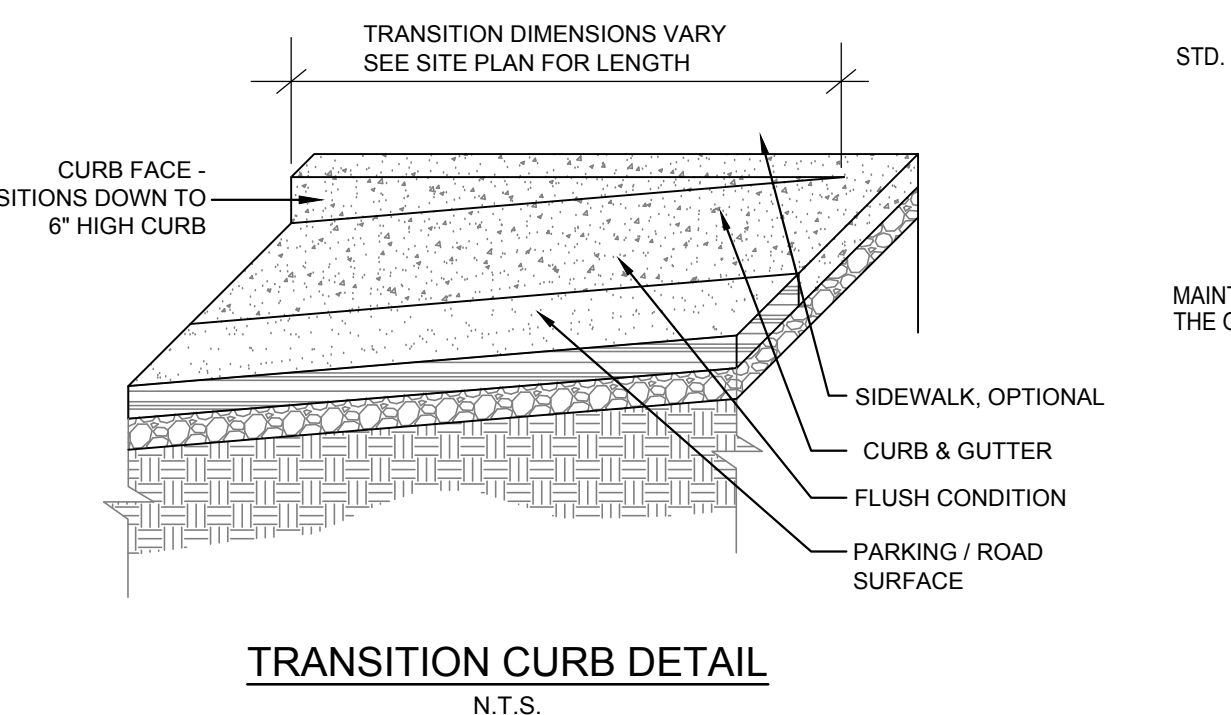
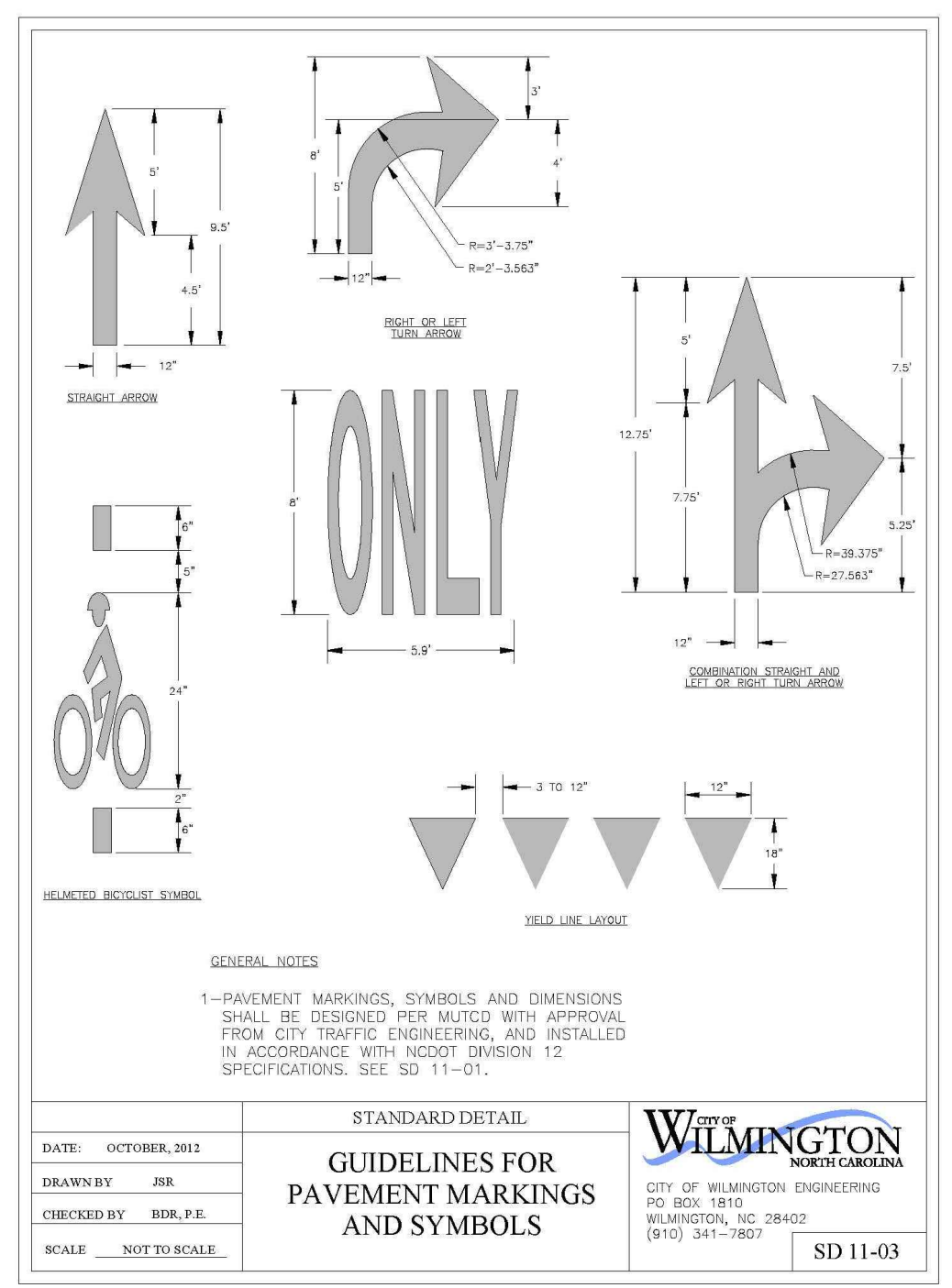
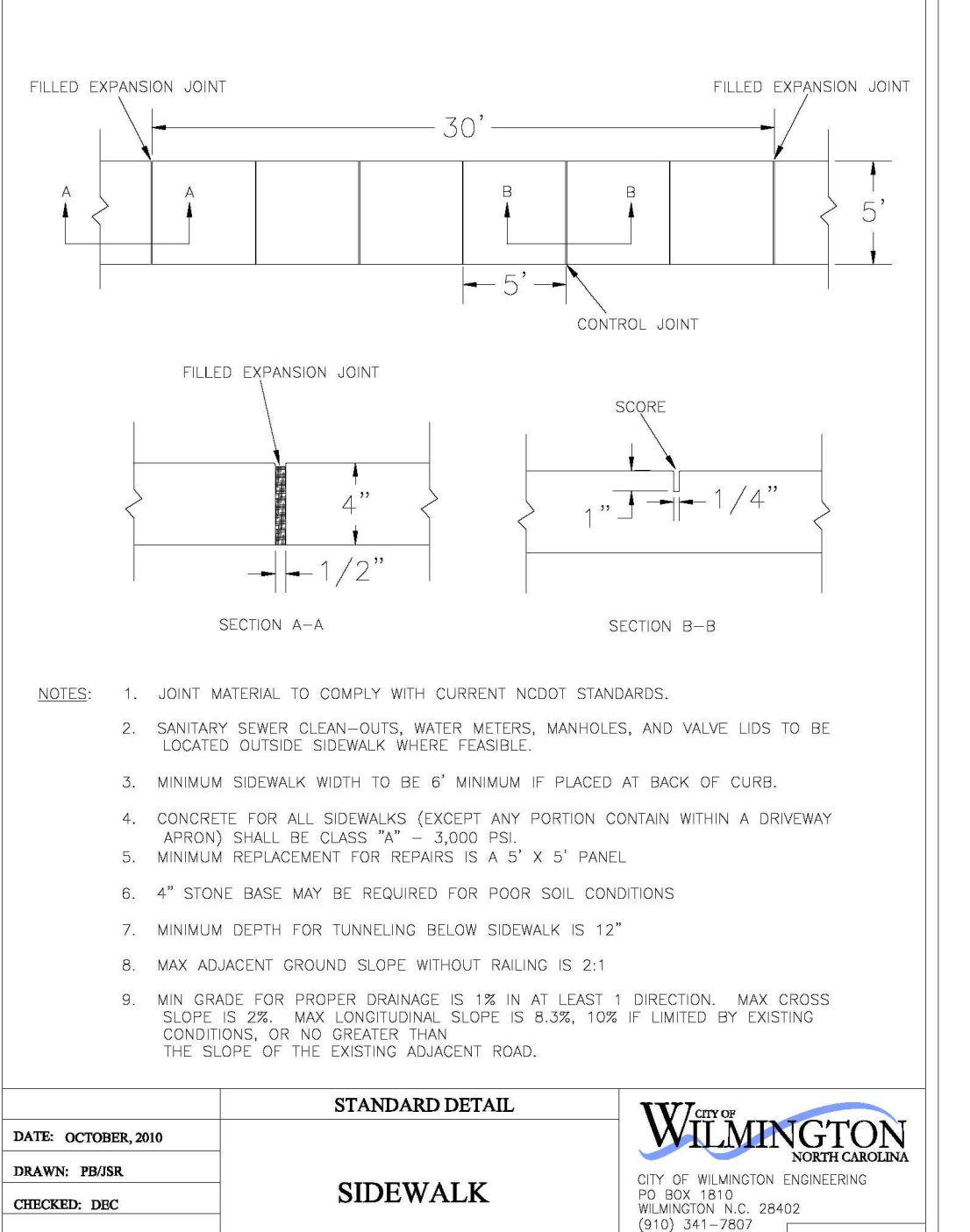
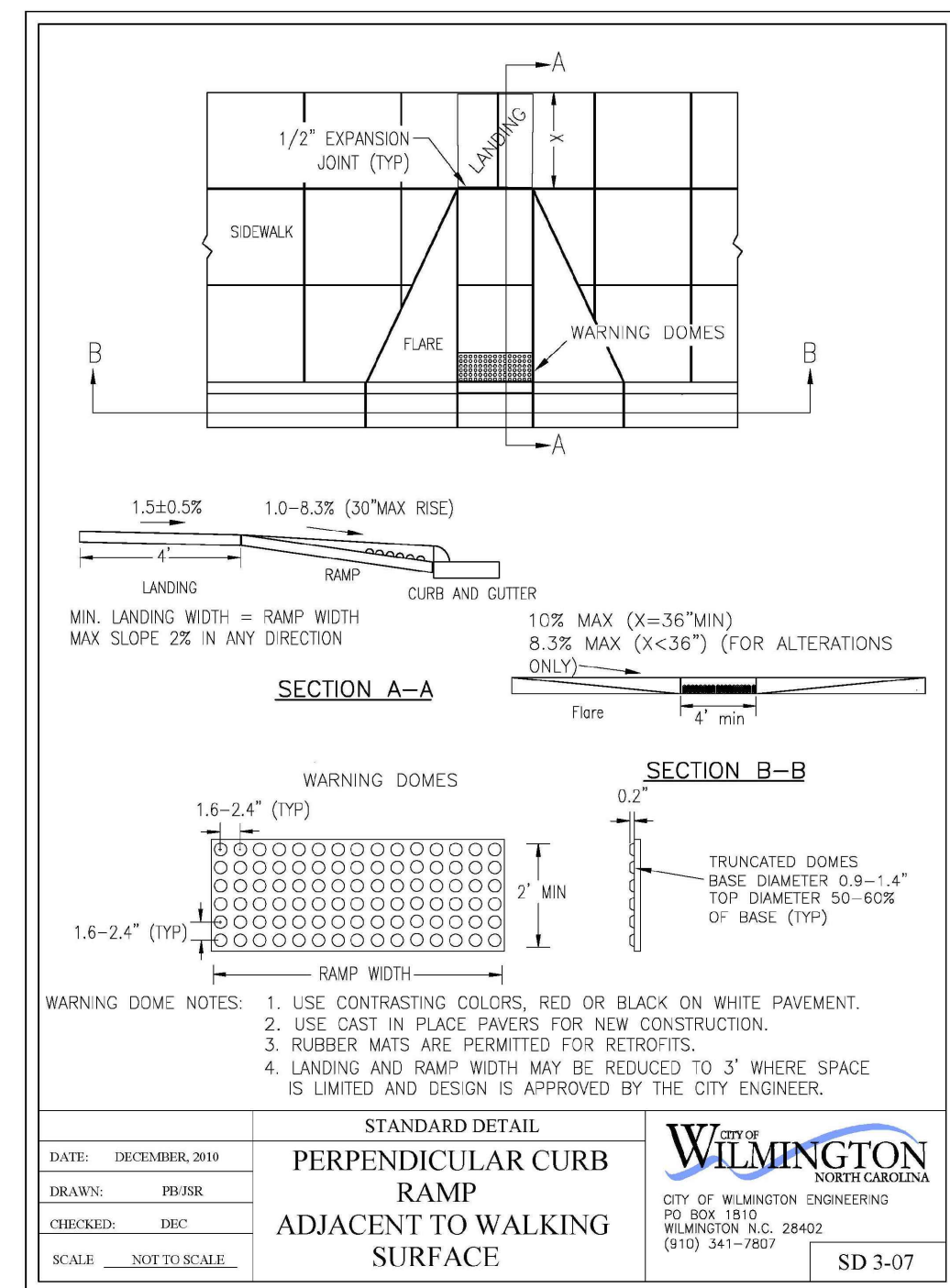
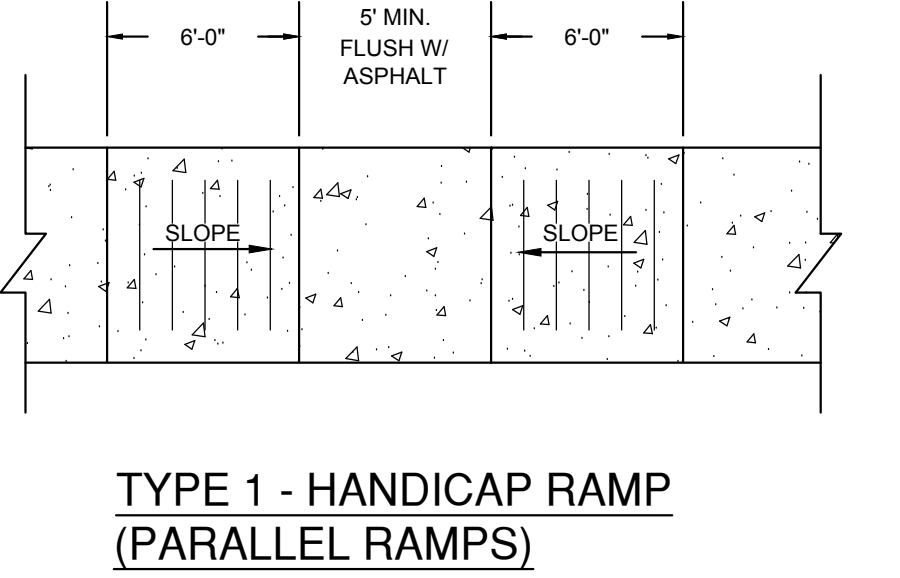
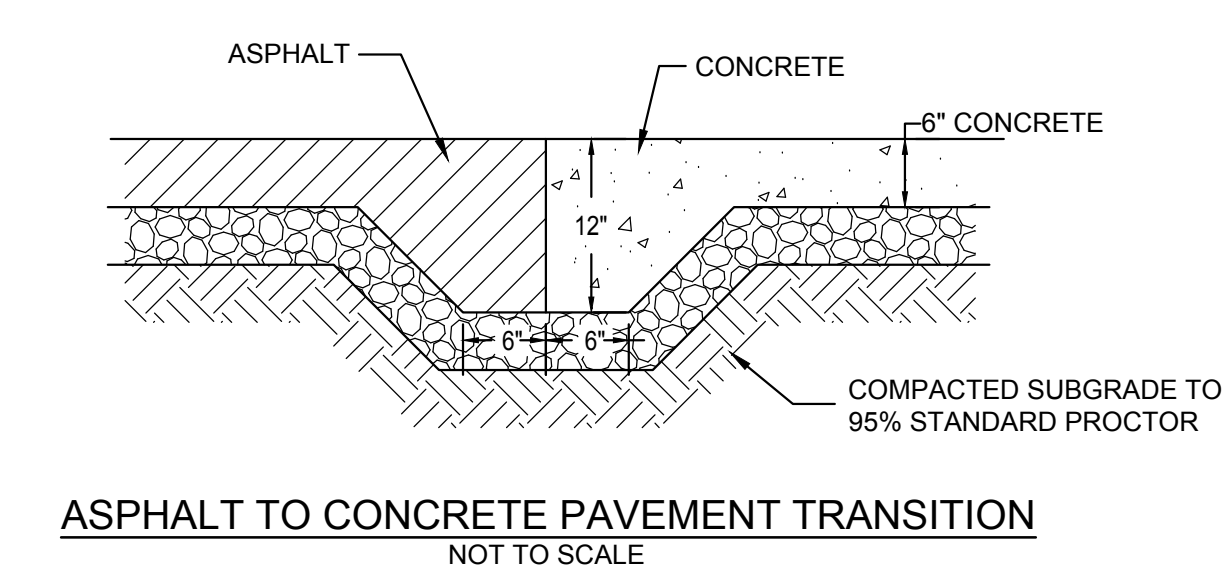


Approved Construction Plan
 Name: _____ Date: _____

Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:
 REVISED PER CITY TRC COMMENTS

CLIENT INFORMATION:
 GARRIS ROAD STORAGE HOLDINGS II, LLC
 1111 CAMEL COMMONS BLVD, STE 207
 CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6766 (F)
 NC License #: C-2846

DETAILS
 GARRIS ROAD LOT 3R BOAT STORAGE
 CITY OF WILMINGTON
 NORTH CAROLINA

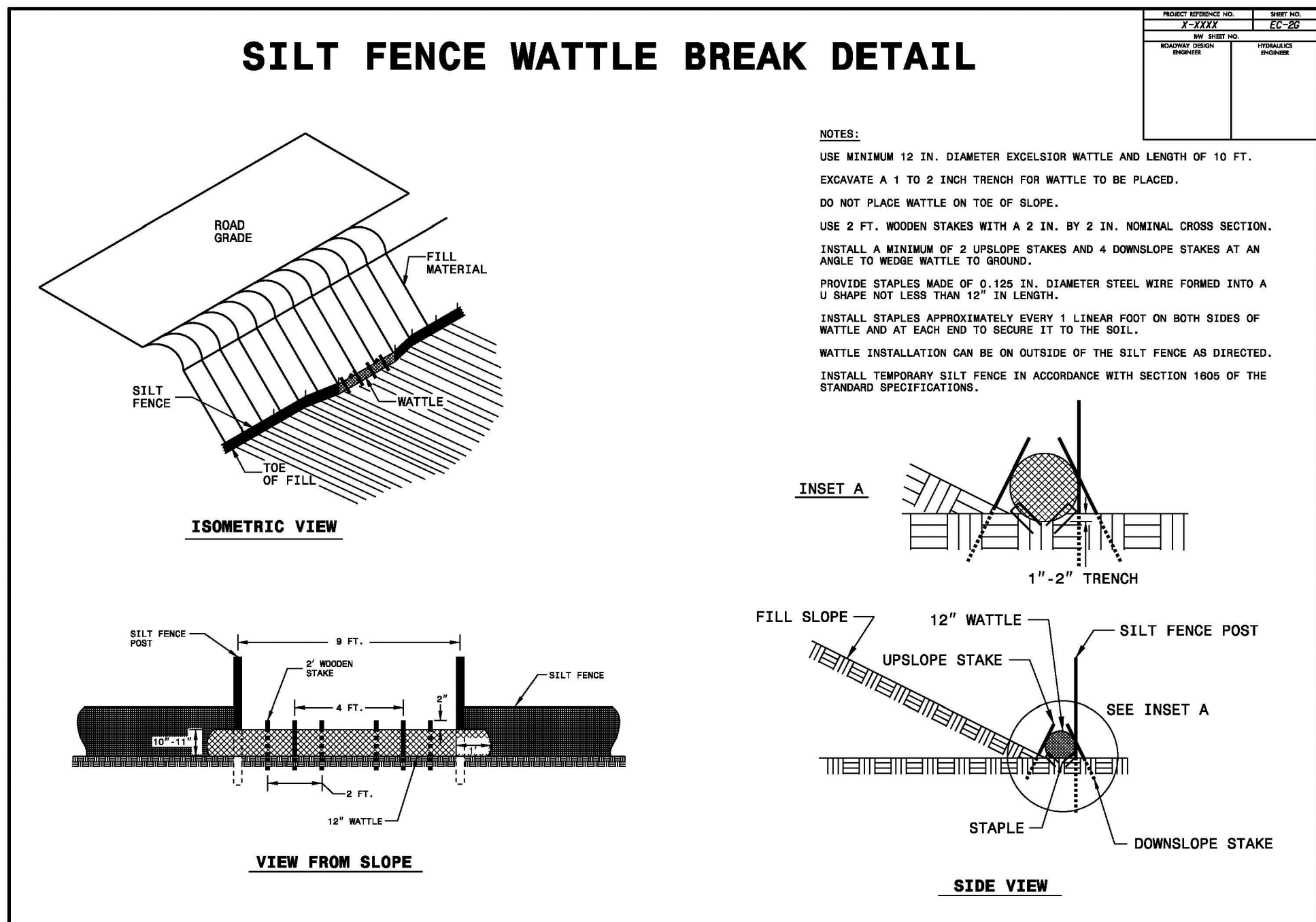
PROJECT STATUS:
 CONCEPT LAYOUT: _____
 FINAL DESIGN: _____
 RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
 DATE: 02/27/2020
 SCALE: AS SHOWN
 DRAWN BY: _____
 CHECKED BY: _____

PEI JOB#: 17402.PE

C-5.0

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

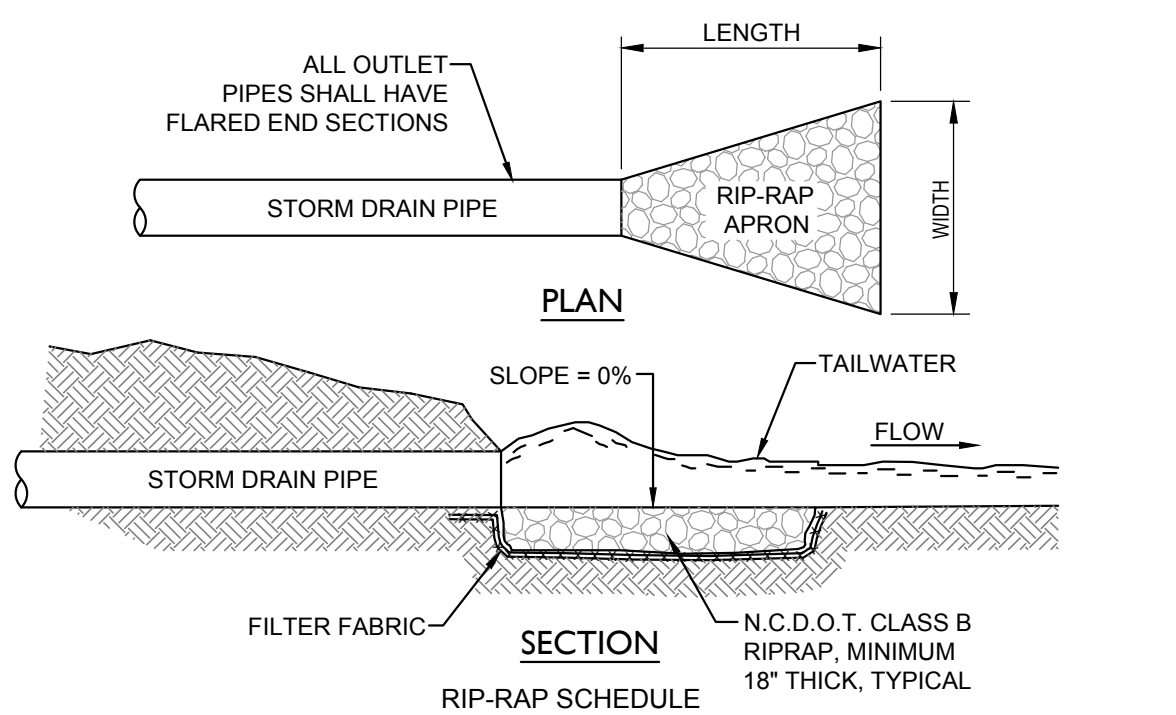
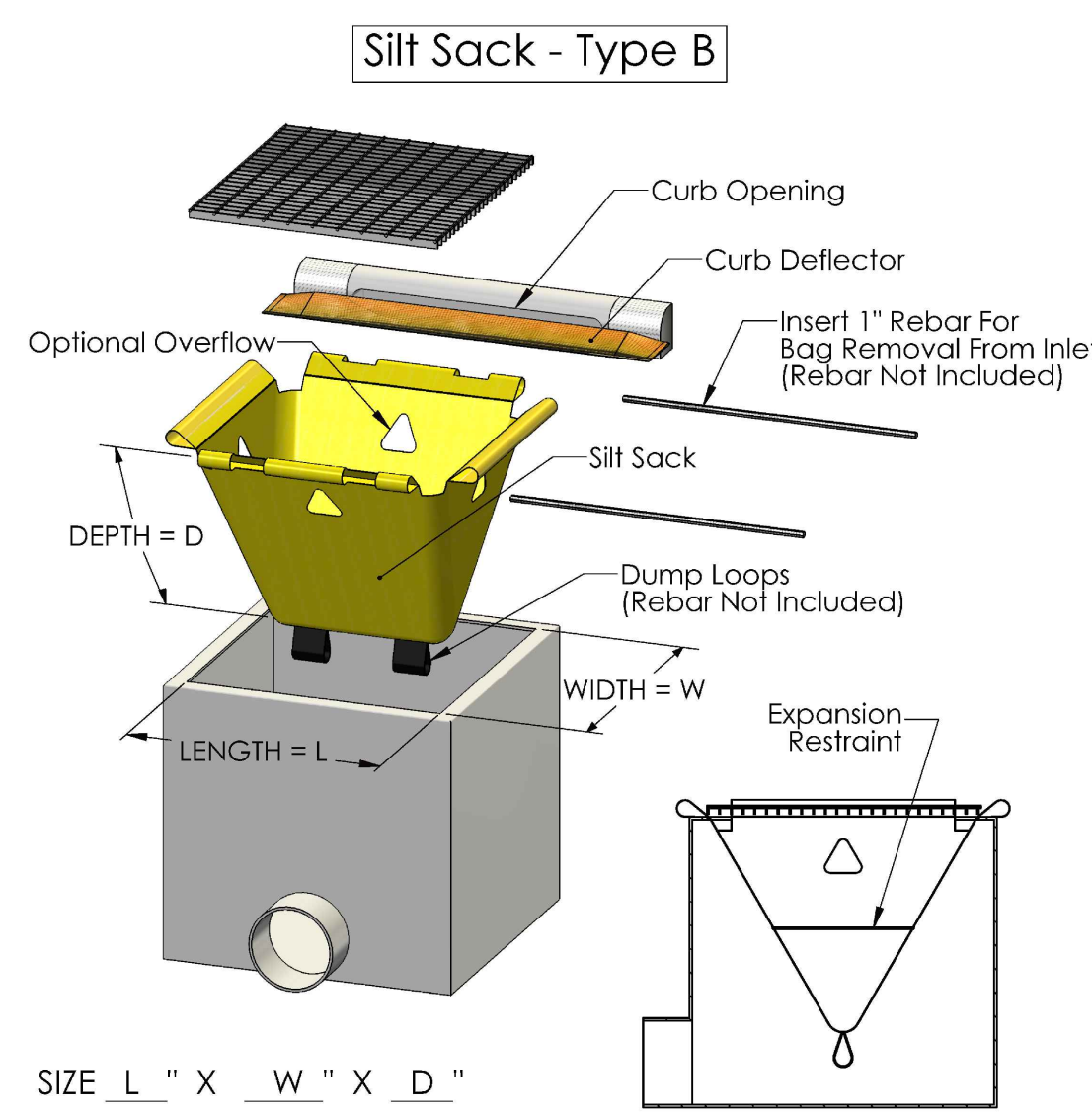
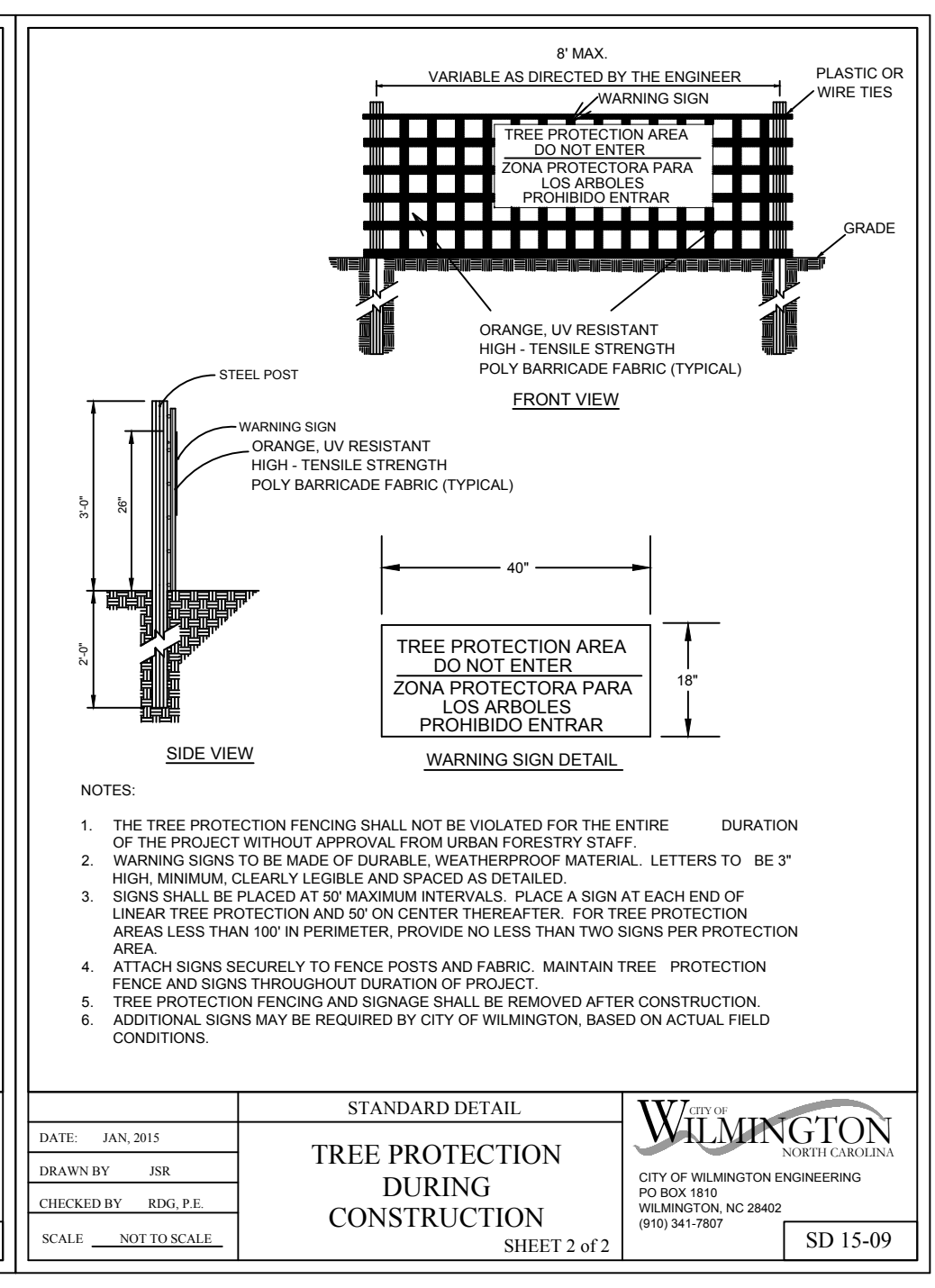
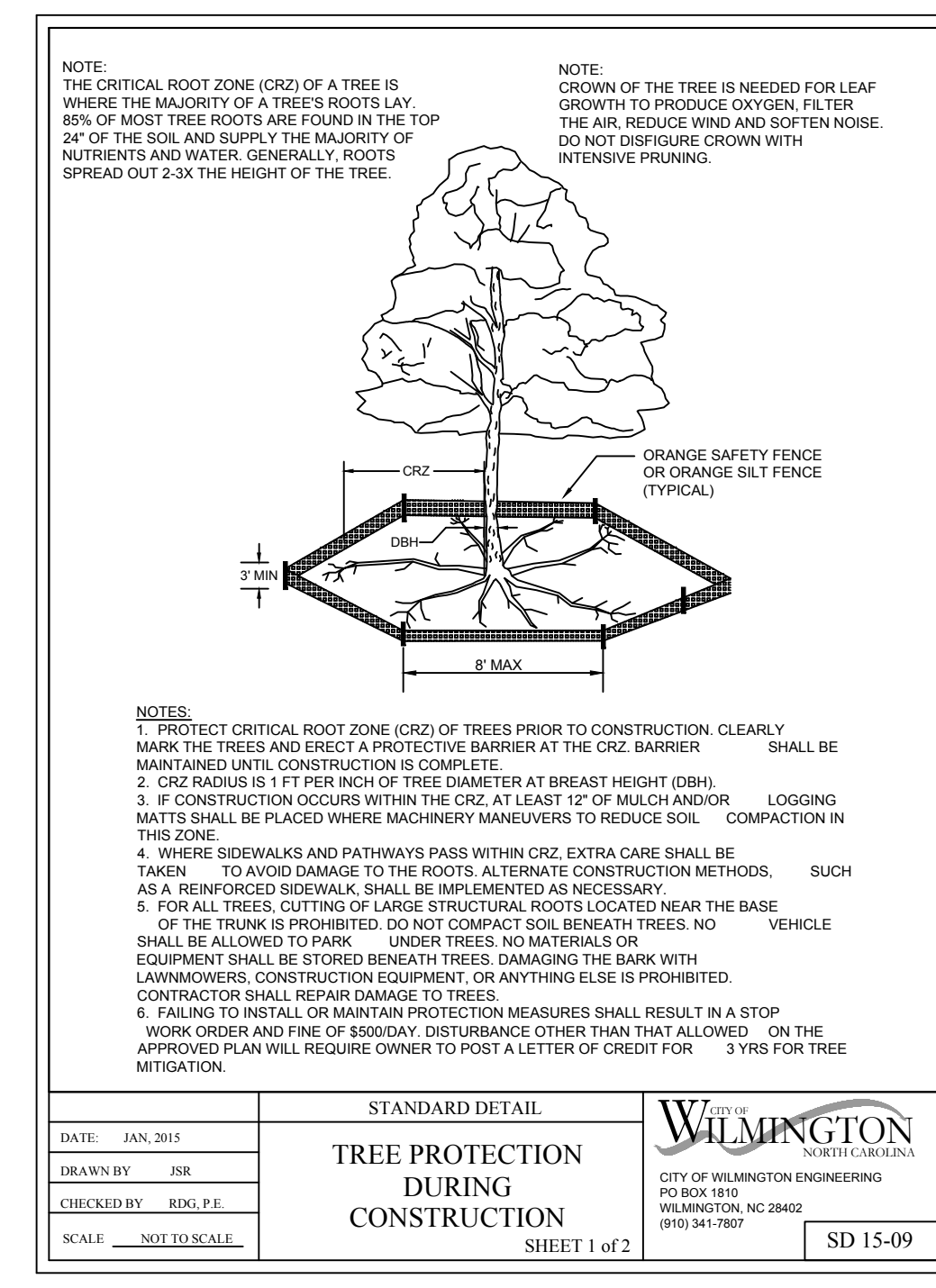
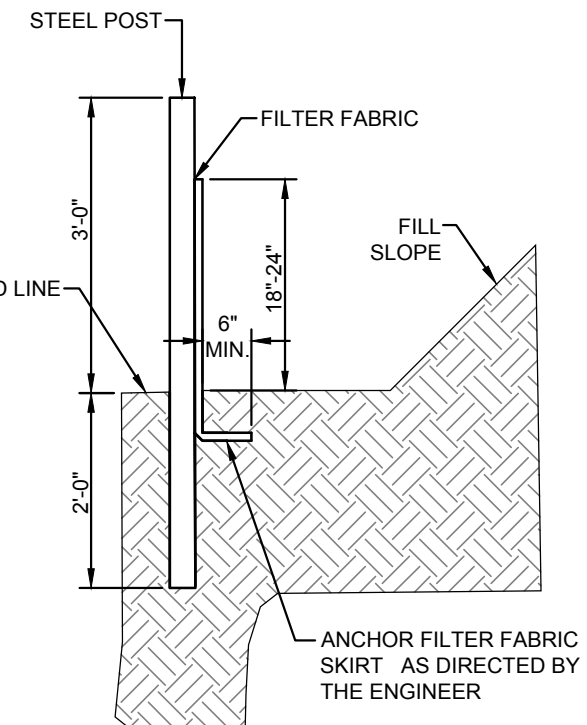
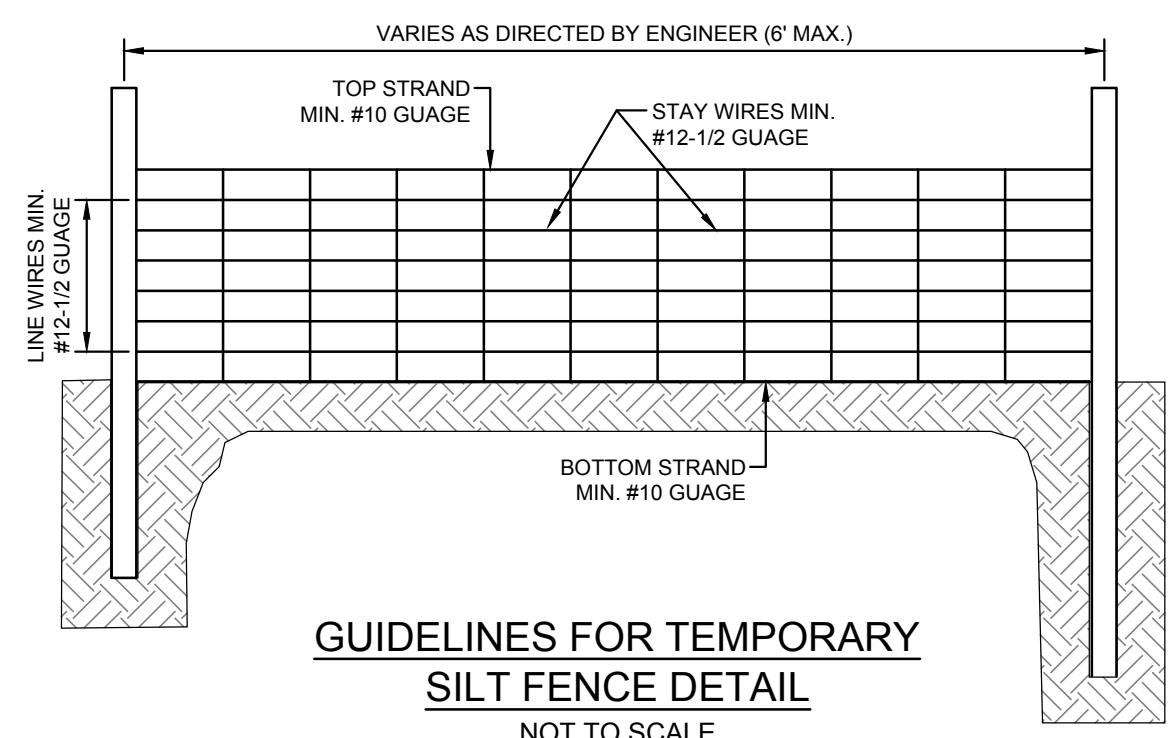


- NOTES:**
 1. WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES W/12" STAY SPACING
 2. FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER
 3. STEEL POST SHALL BE 5' 0" IN HEIGHT AND BE OF SELF FASTENER ANGLE STEEL TYPE

GARRIS ROAD BOAT STORAGE Temporary Sediment Fence

Requirement = 100 ft per 0.25 acres disturbed

DA #	Disturbed area (ac)	Total drainage area (ac)	Silt Fence Required (ft)	Silt Fence Provided (ft)
1	0.84 ac	0.84 ac	336	417
2	2.51 ac	2.51 ac	1004	1067
3	0.14 ac	0.14 ac	56	209
4	0.19 ac	0.19 ac	76	213

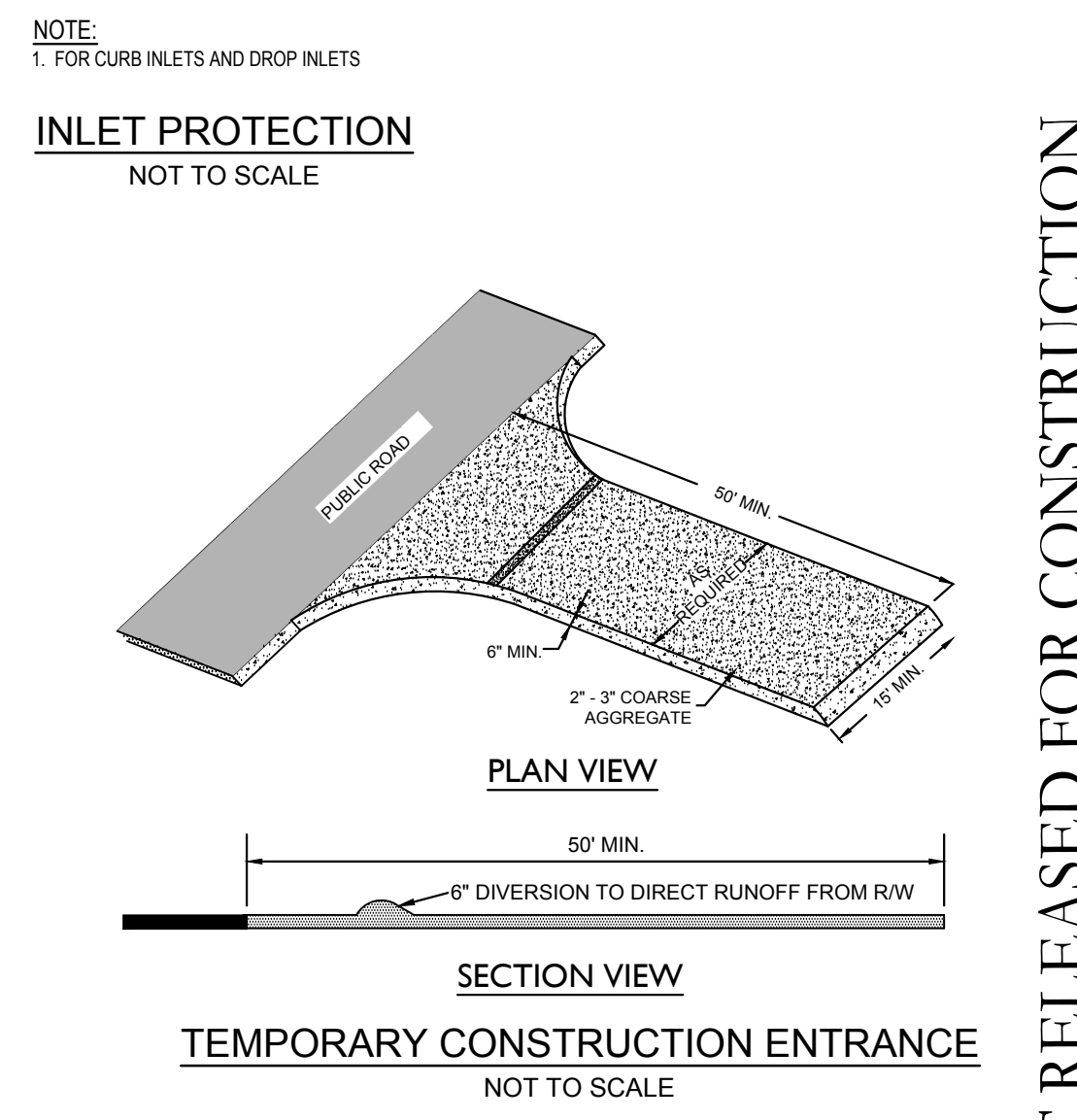
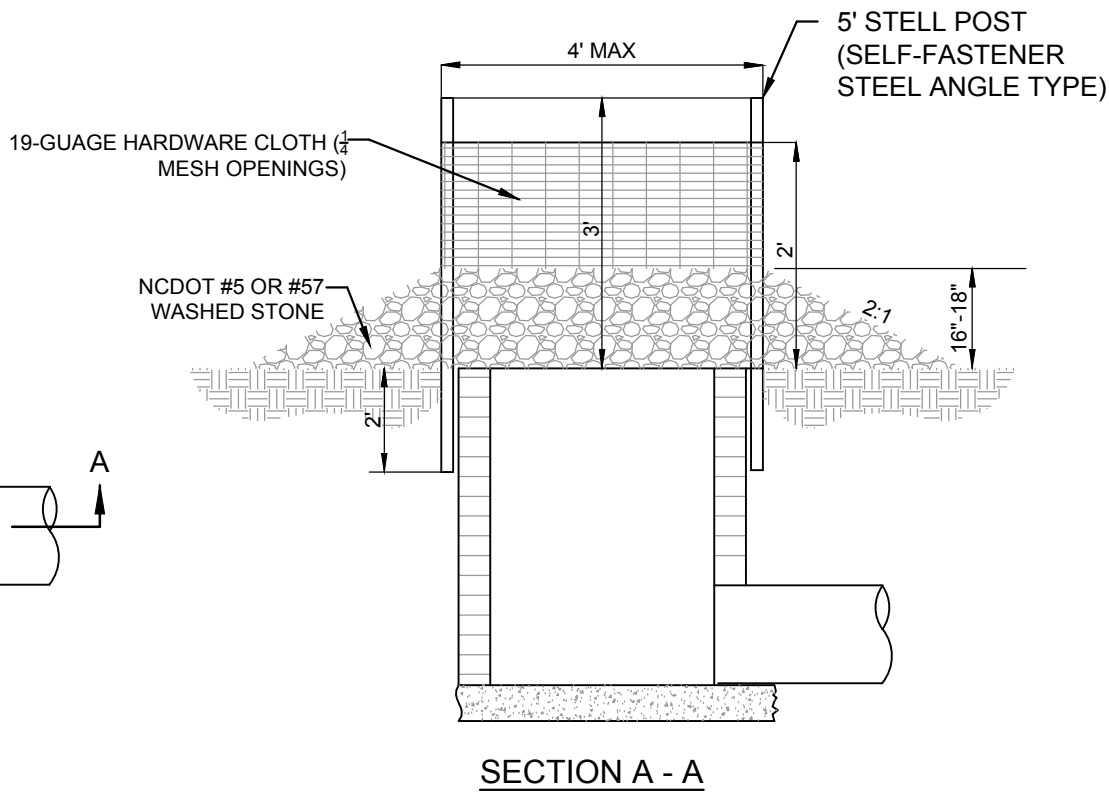
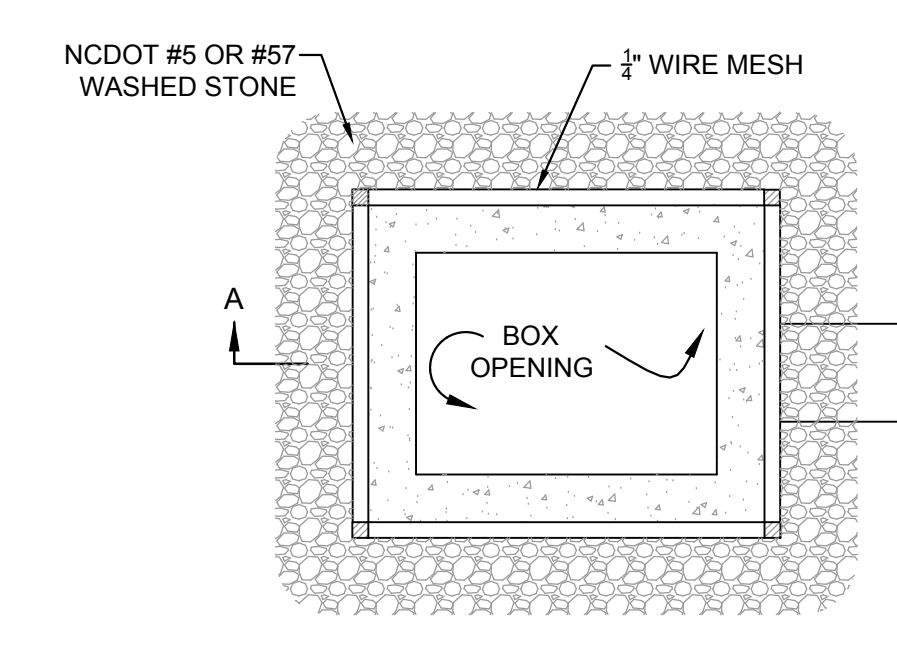


RIP-RAP SCHEDULE

	PIPE DIA. (IN.)	LENGTH (FT.)	UPSTREAM WIDTH (FT.)	DOWNSTREAM WIDTH (FT.)
FES-100	18	8	4.5	9.5
EX. PIPE	36	8	4.5	9.5

RIP-RAP APRON

NOT TO SCALE



INLET PROTECTION DETAIL (CURB INLET)

NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____
 Signed: _____

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

REVISED PER CITY TRC COMMENTS

CLIENT INFORMATION:
 GARRIS ROAD STORAGE HOLDINGS II, LLC
 5826 SAMET DRIVE, SUITE 105
 HHIIG POINT, NC 27265

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

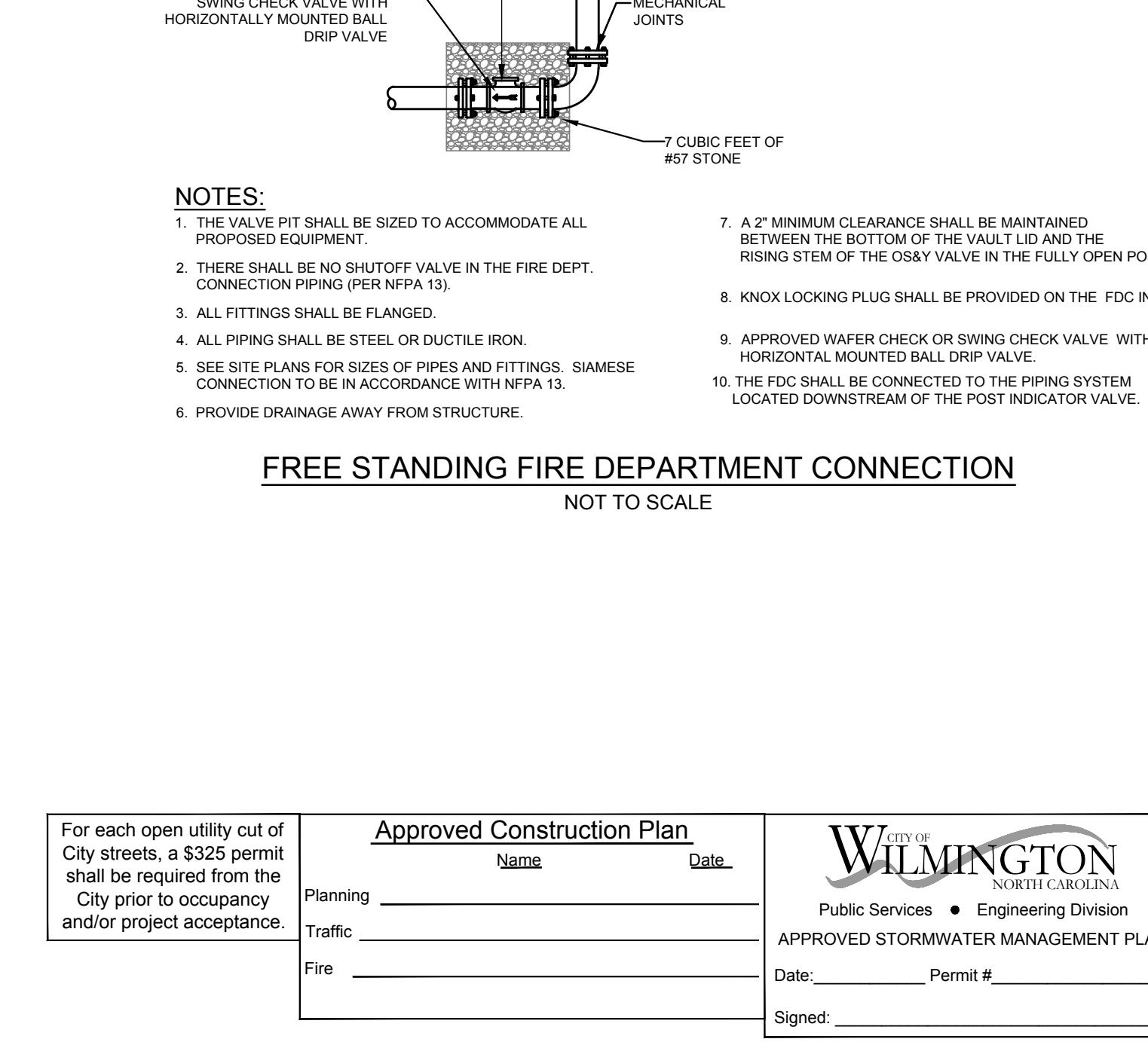
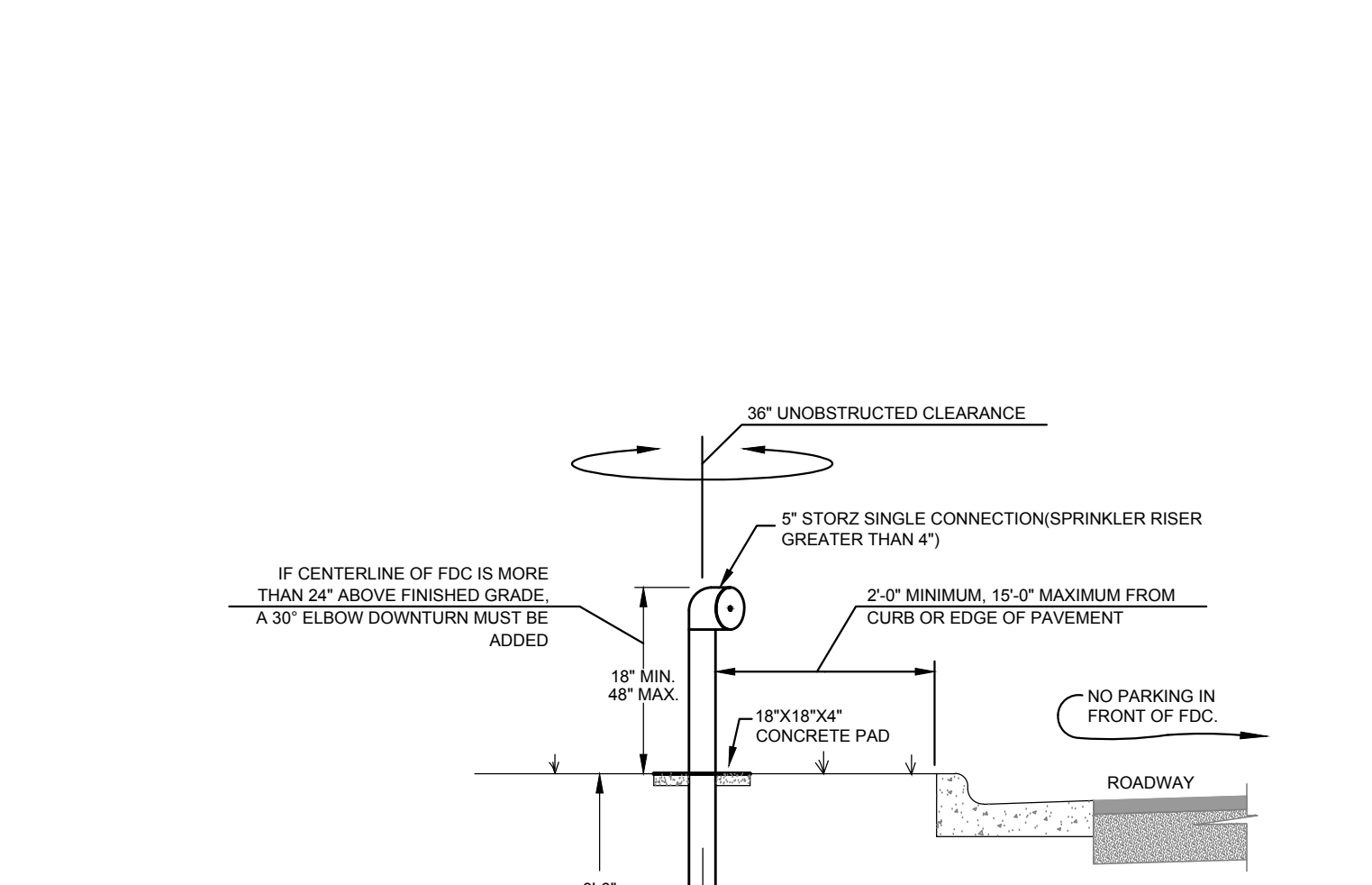
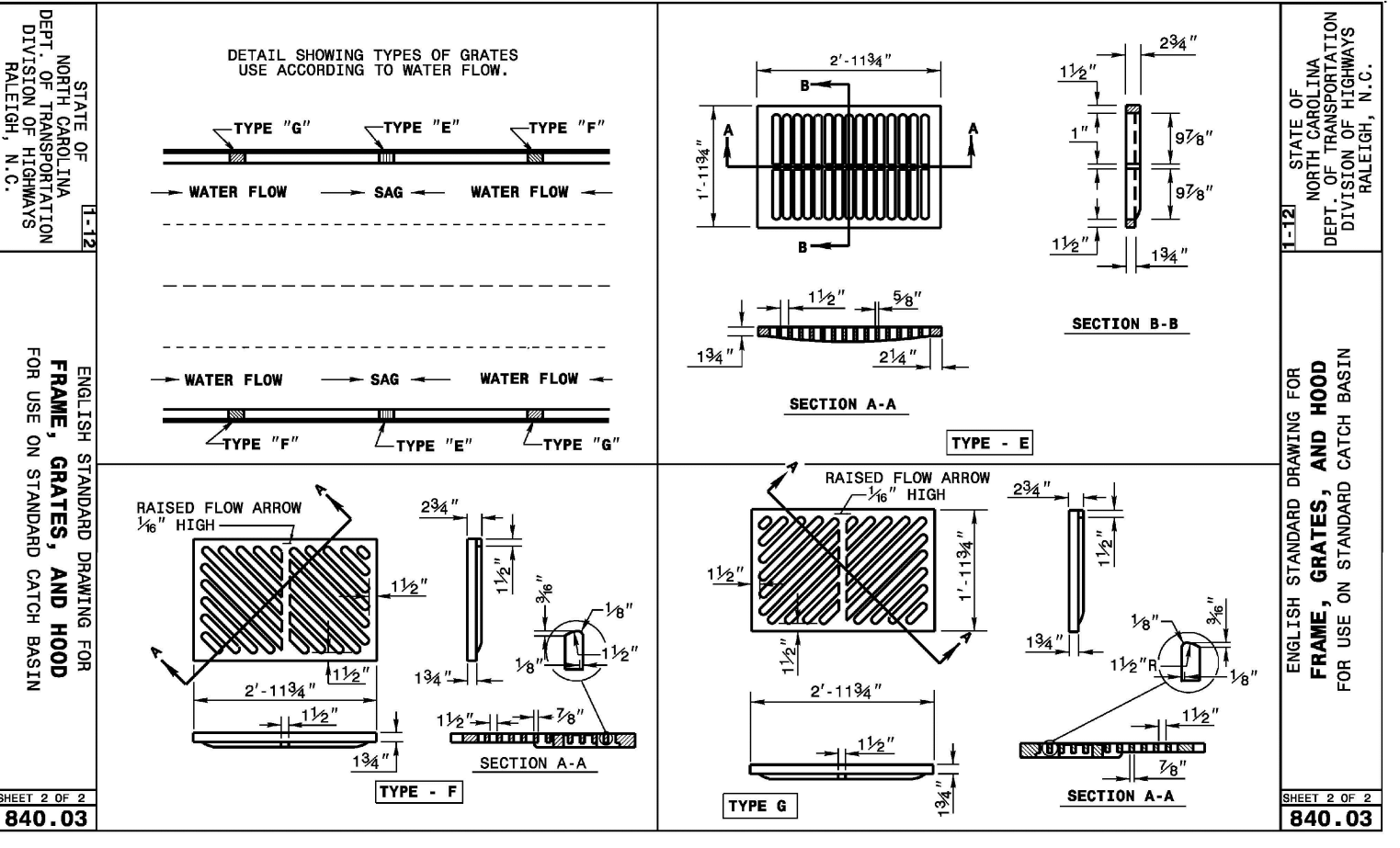
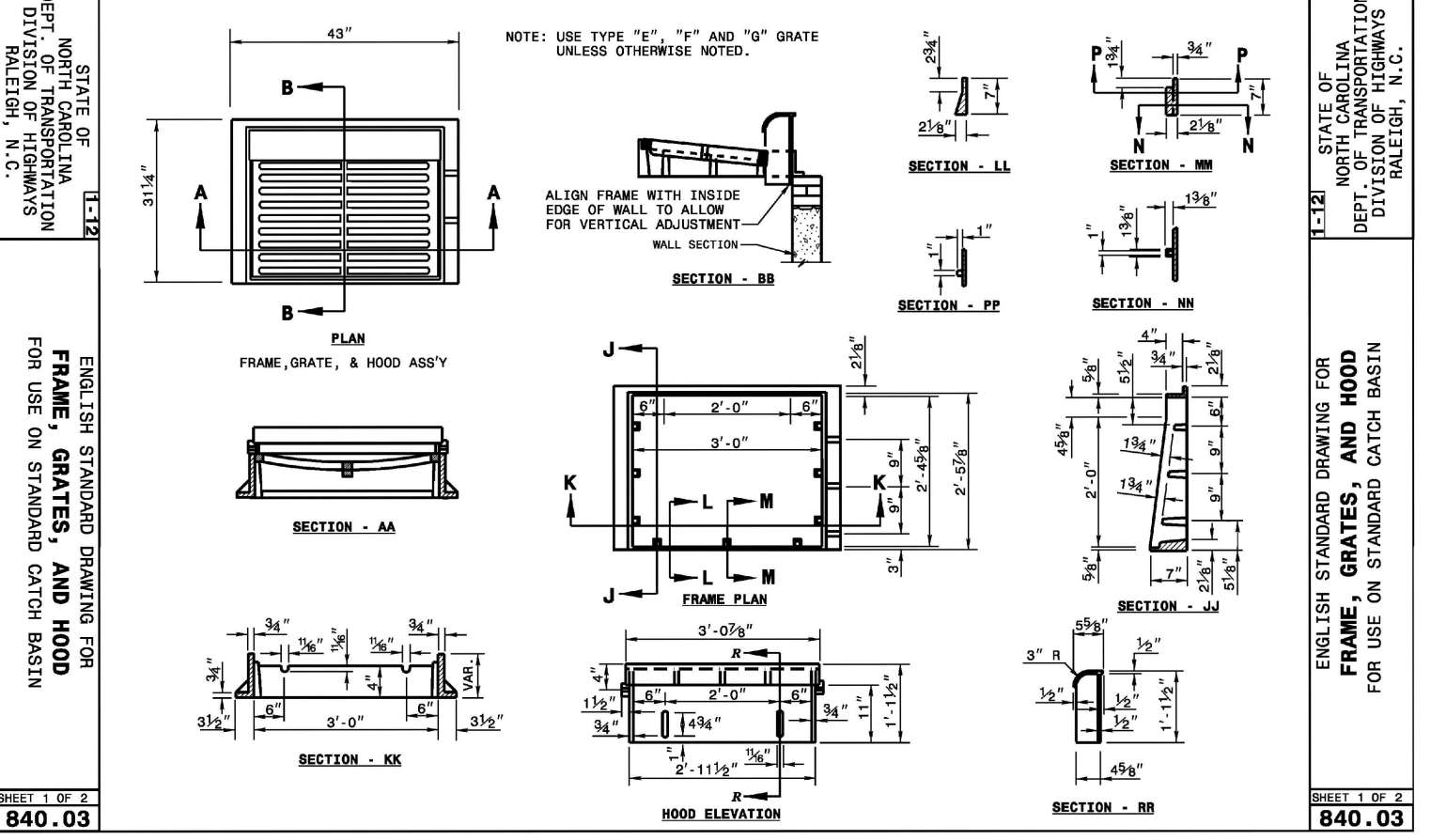
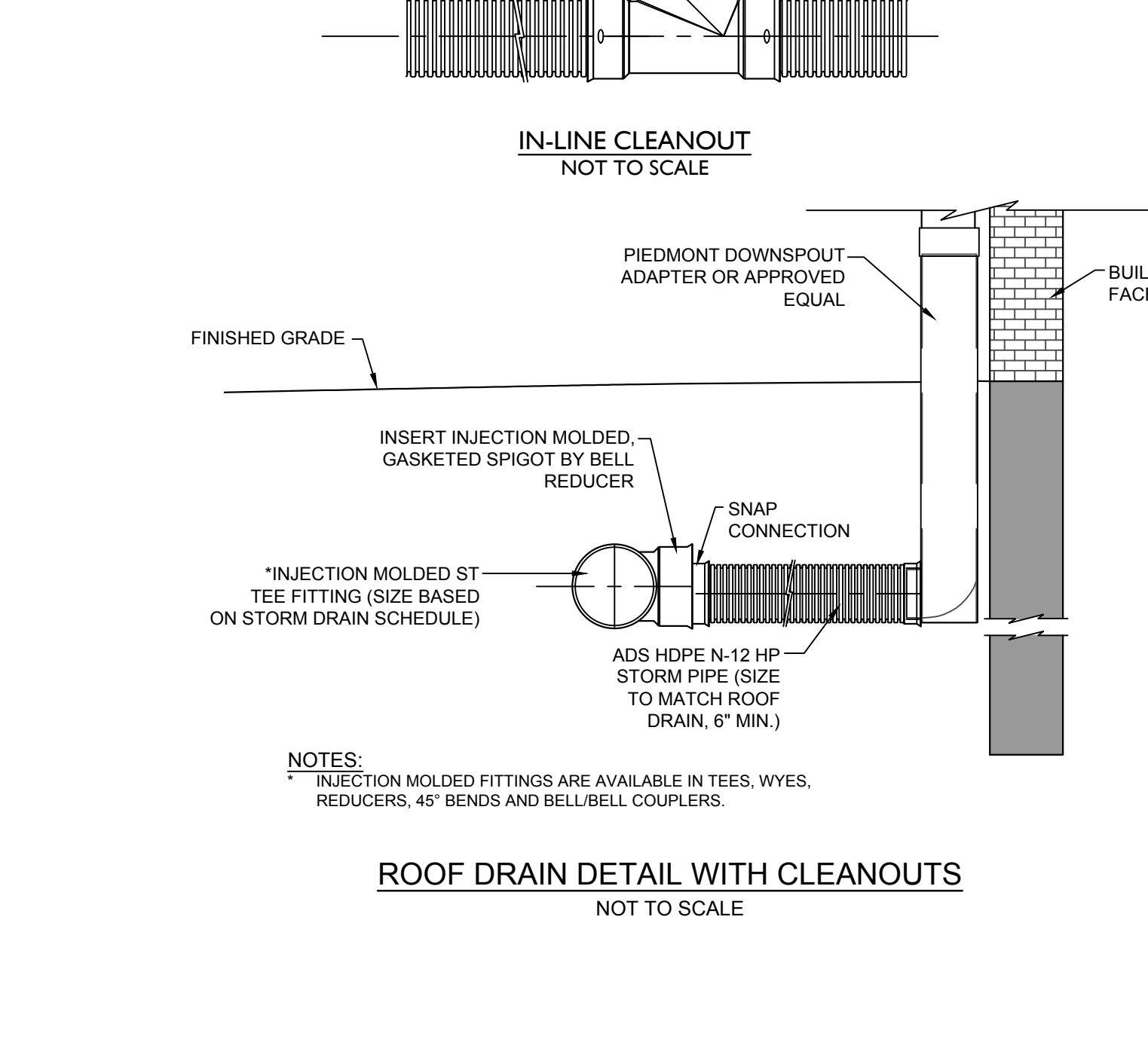
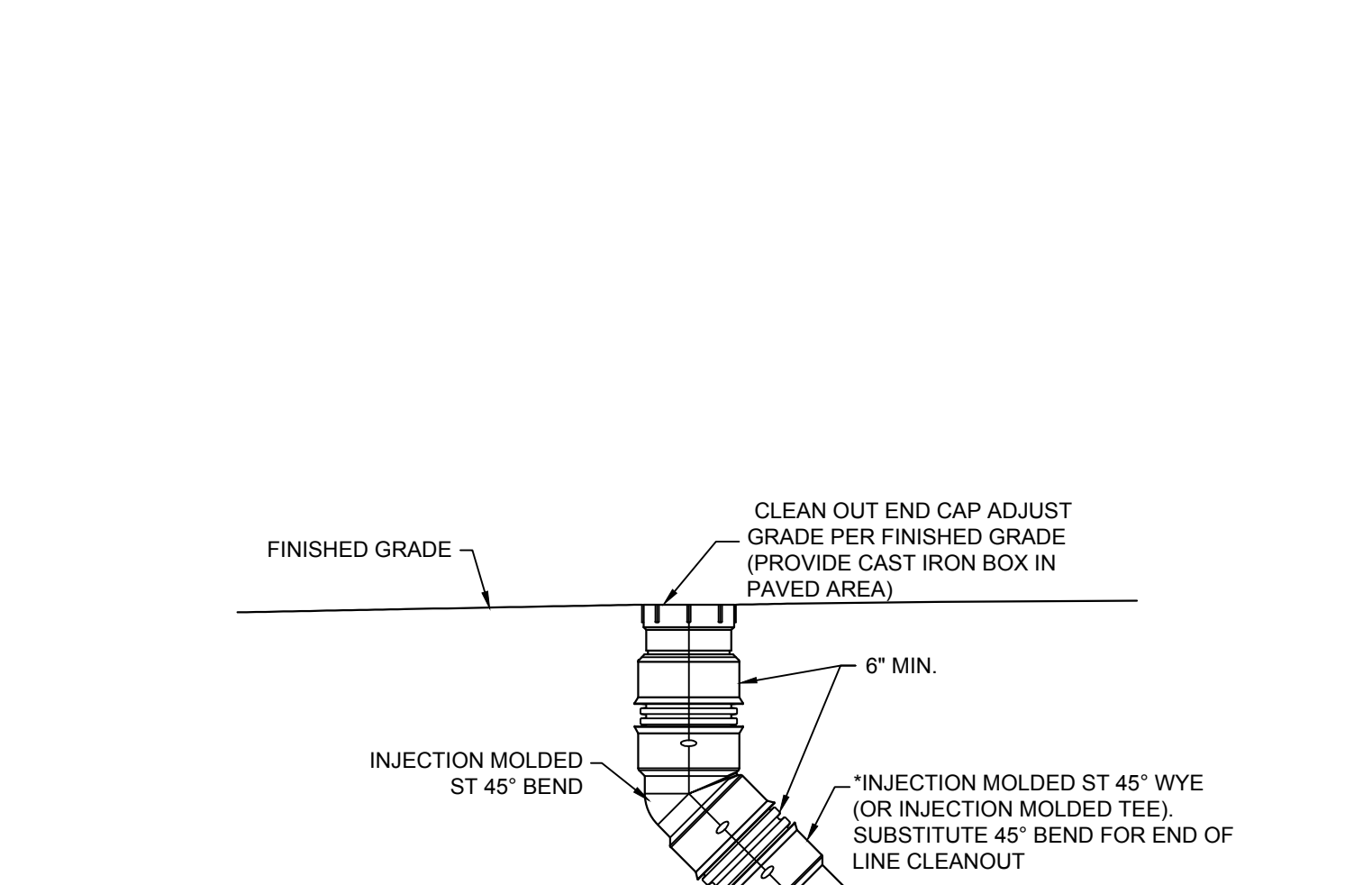
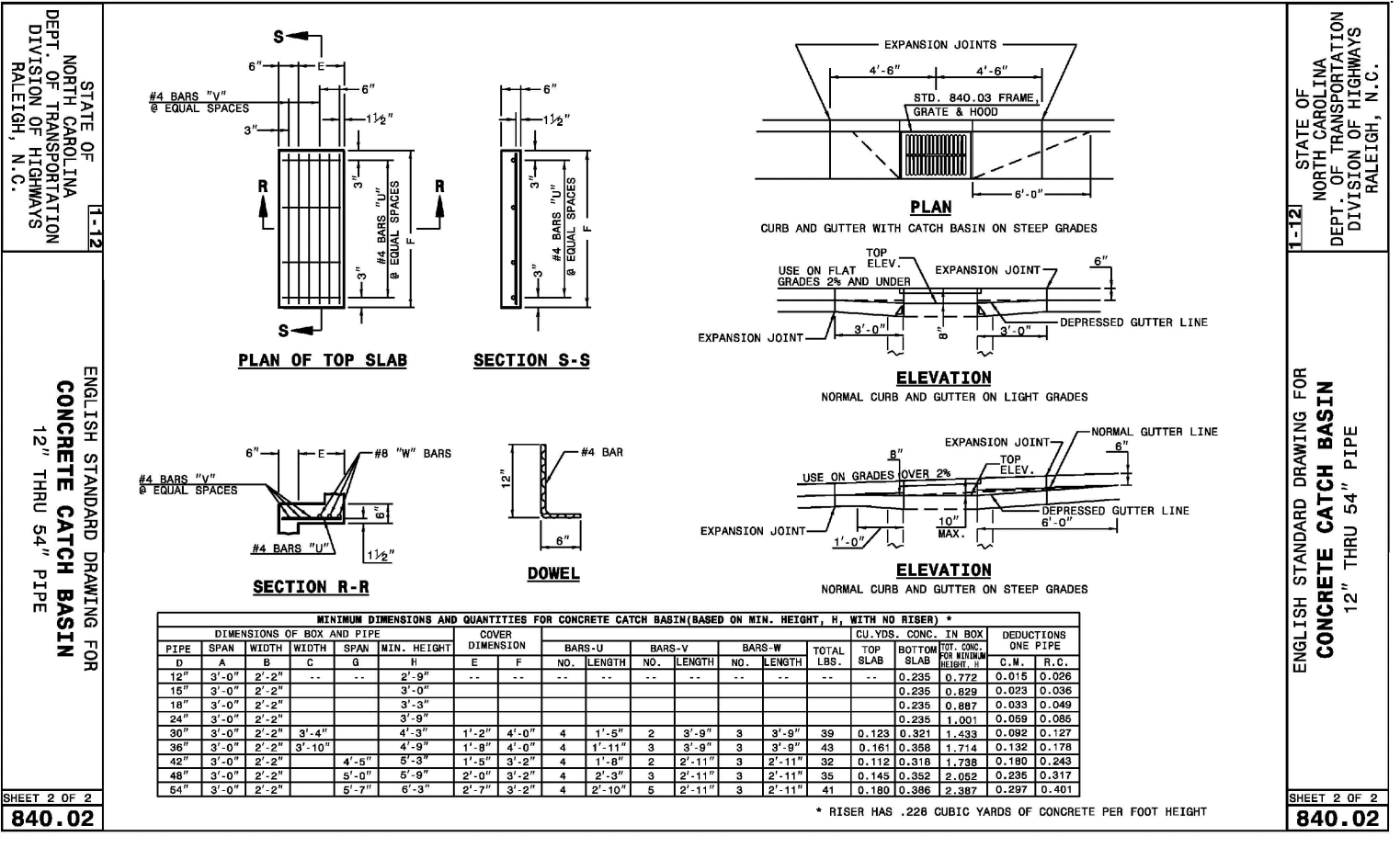
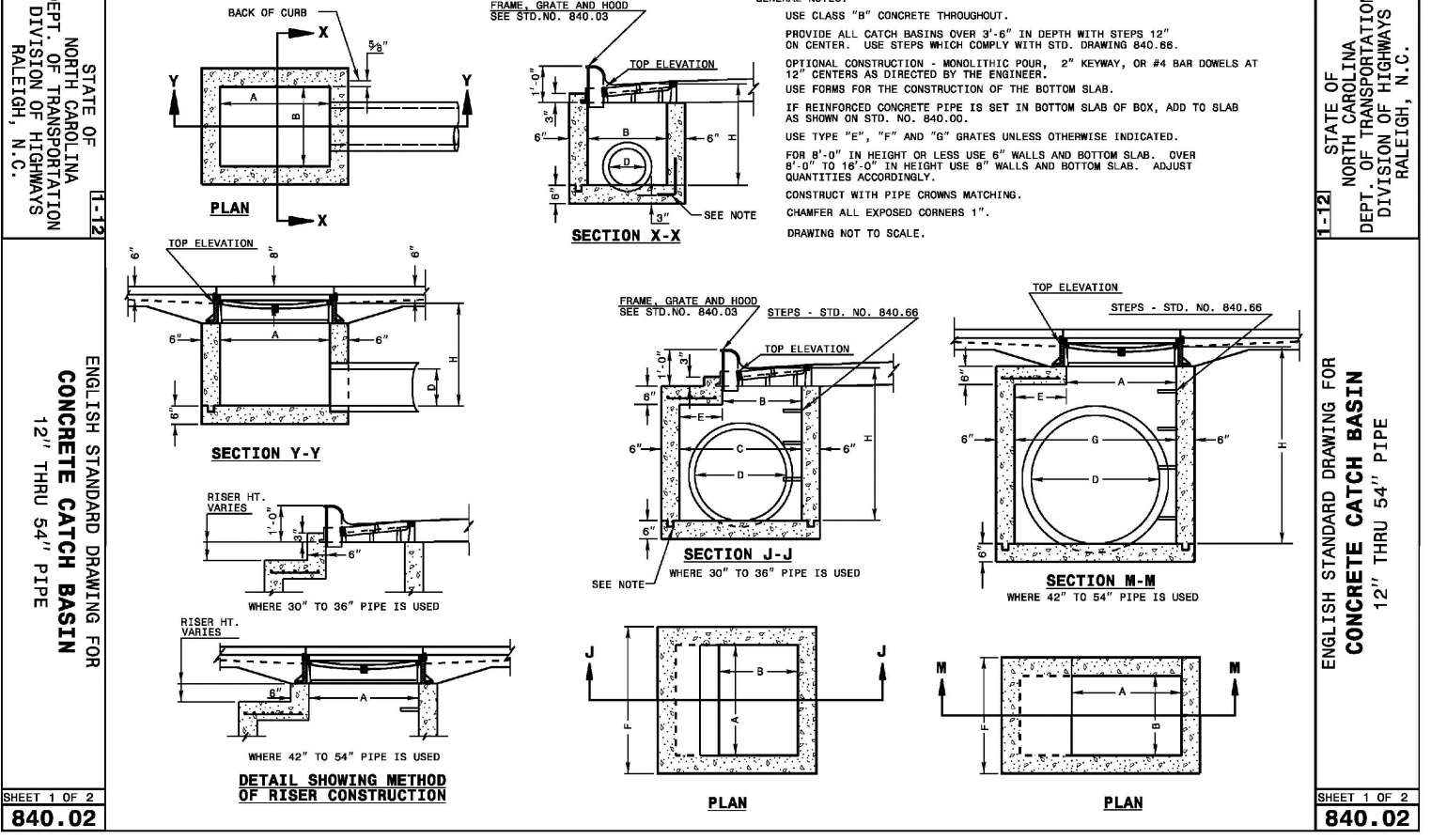
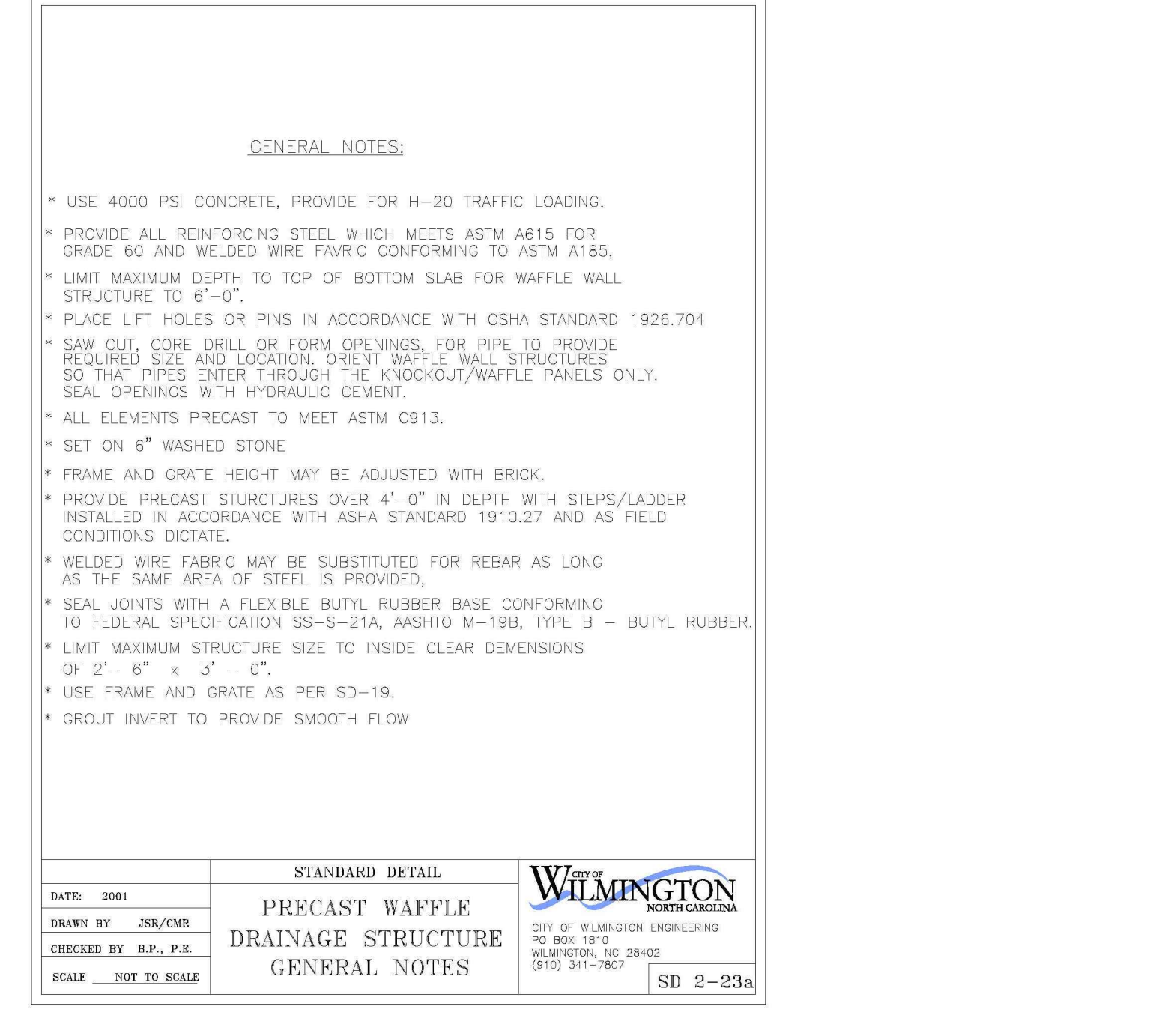
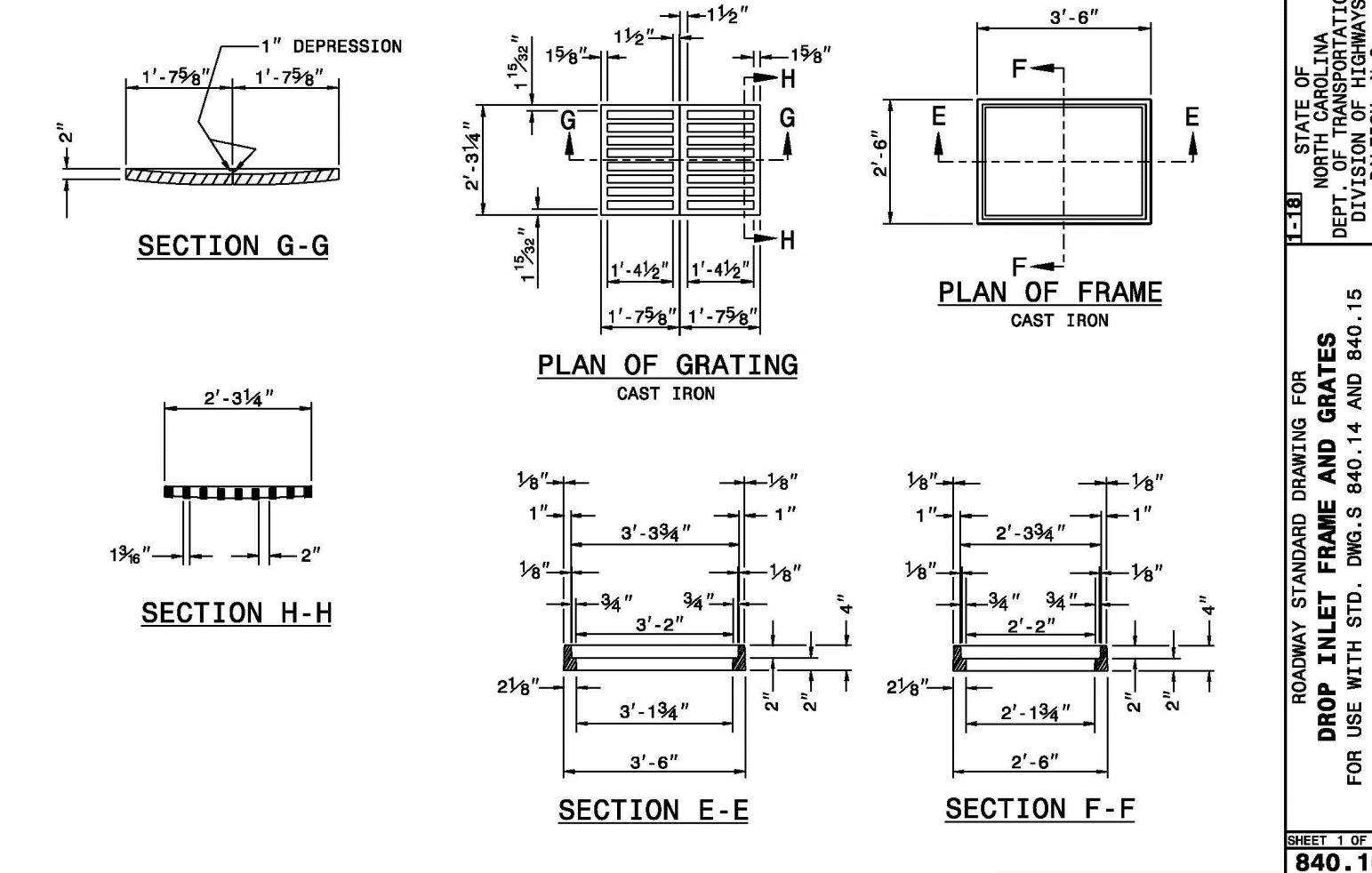
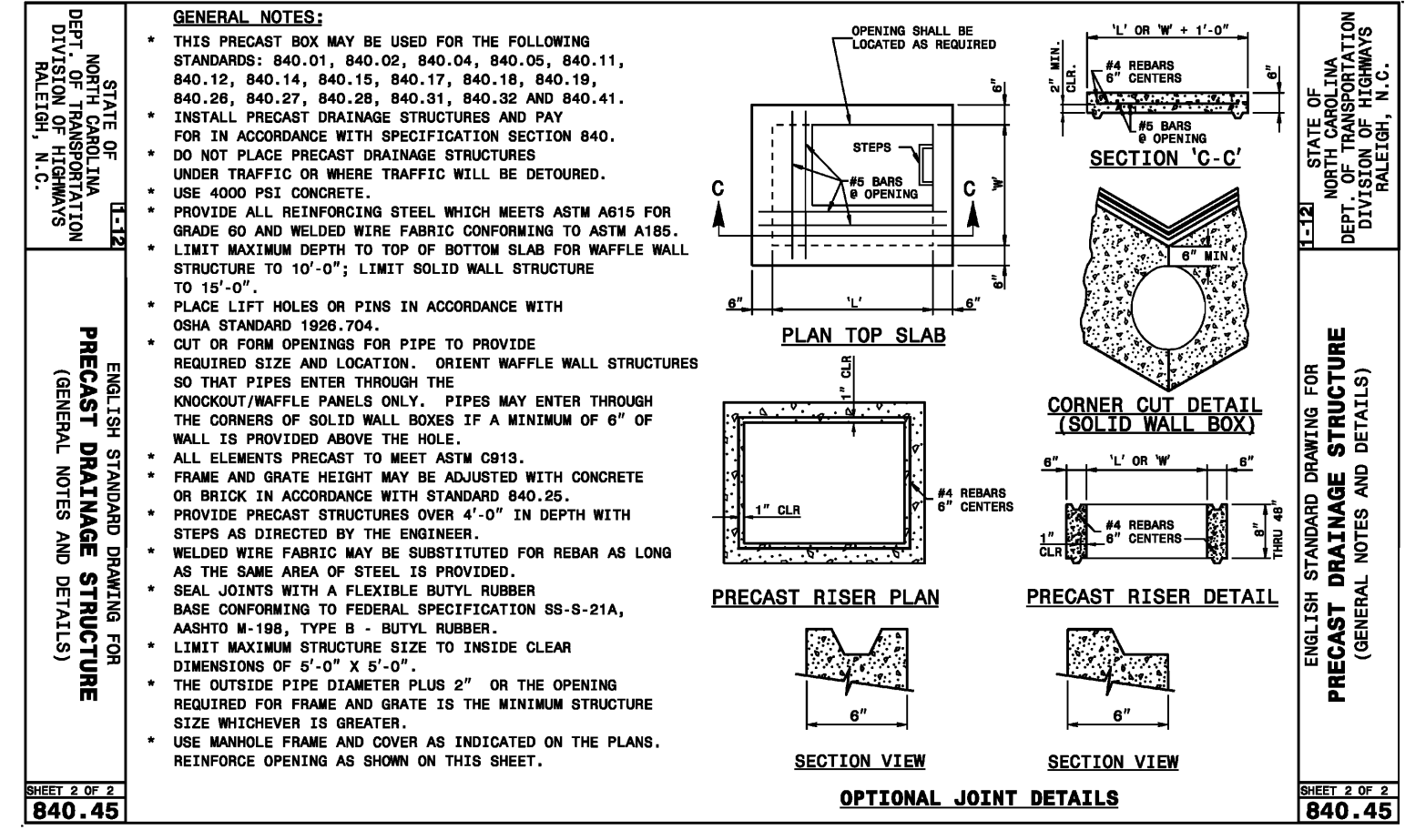
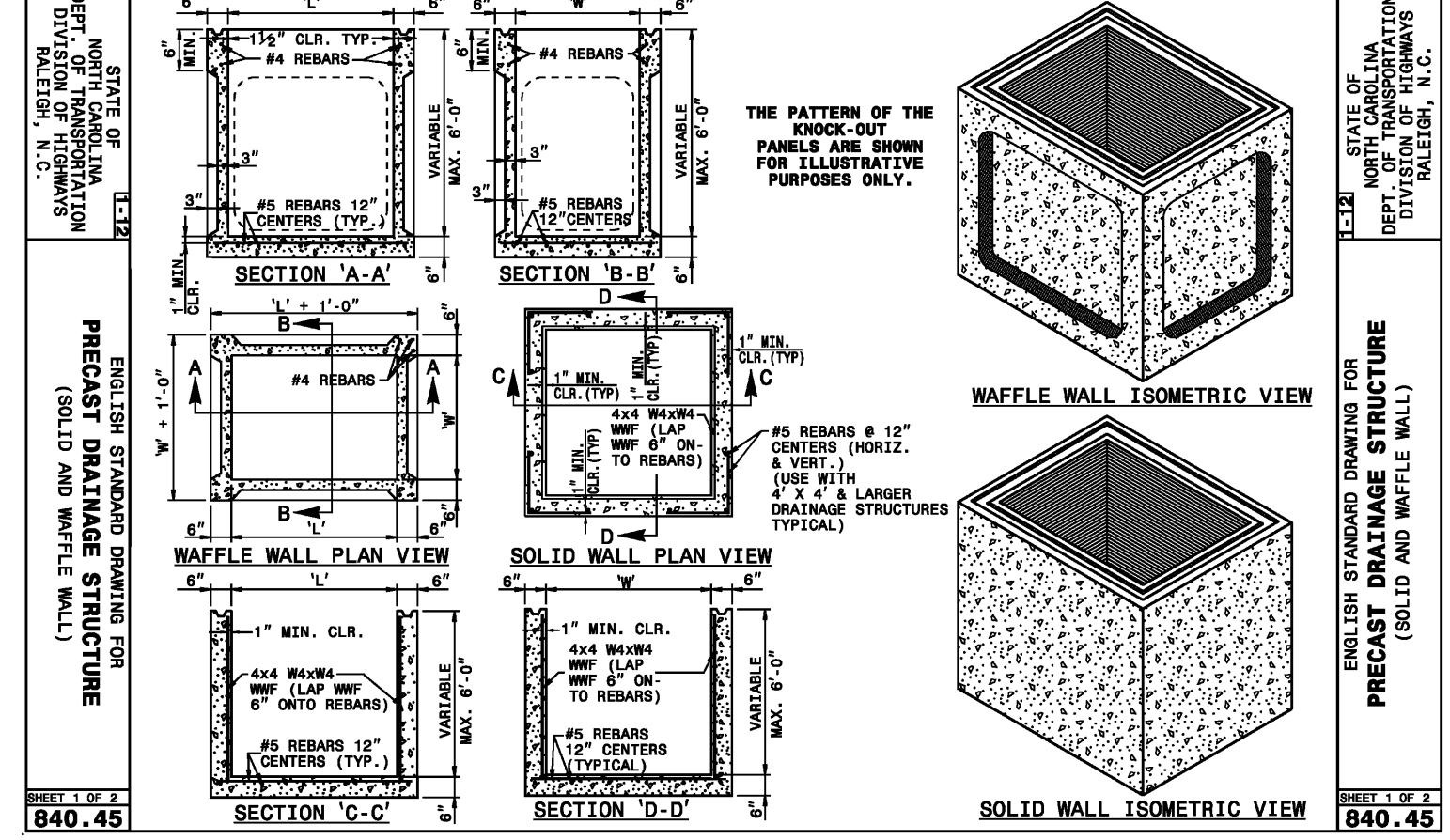
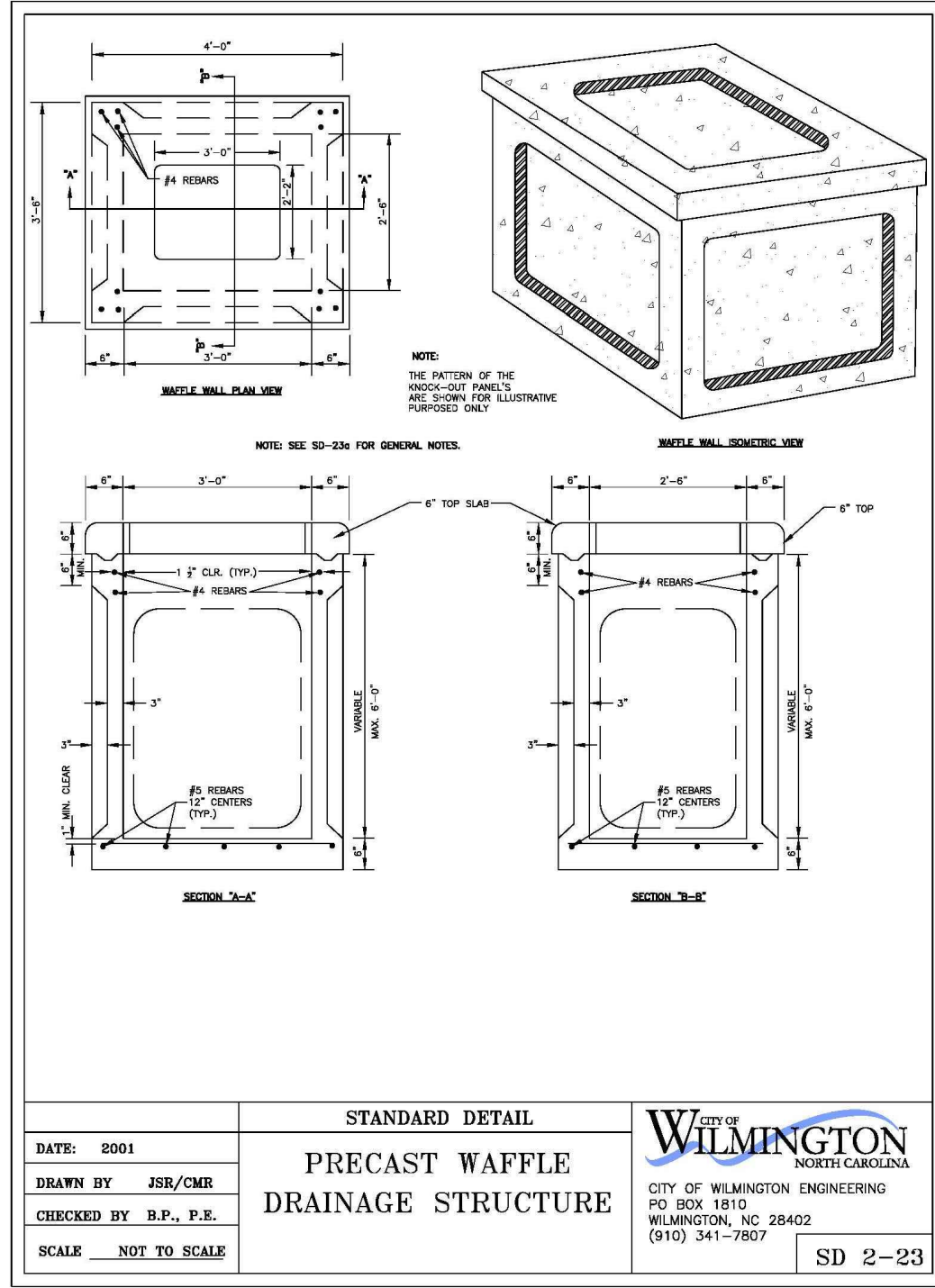
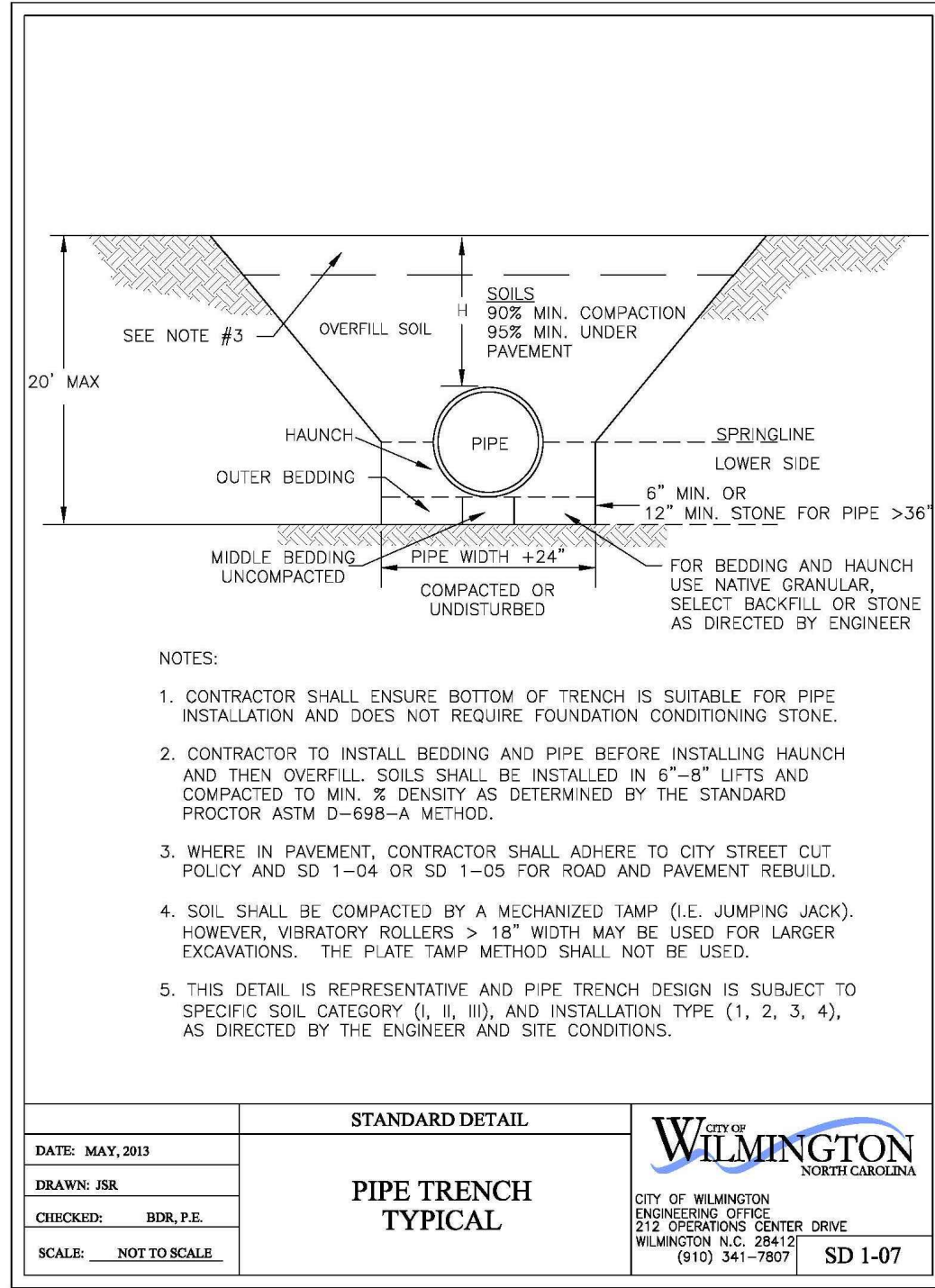
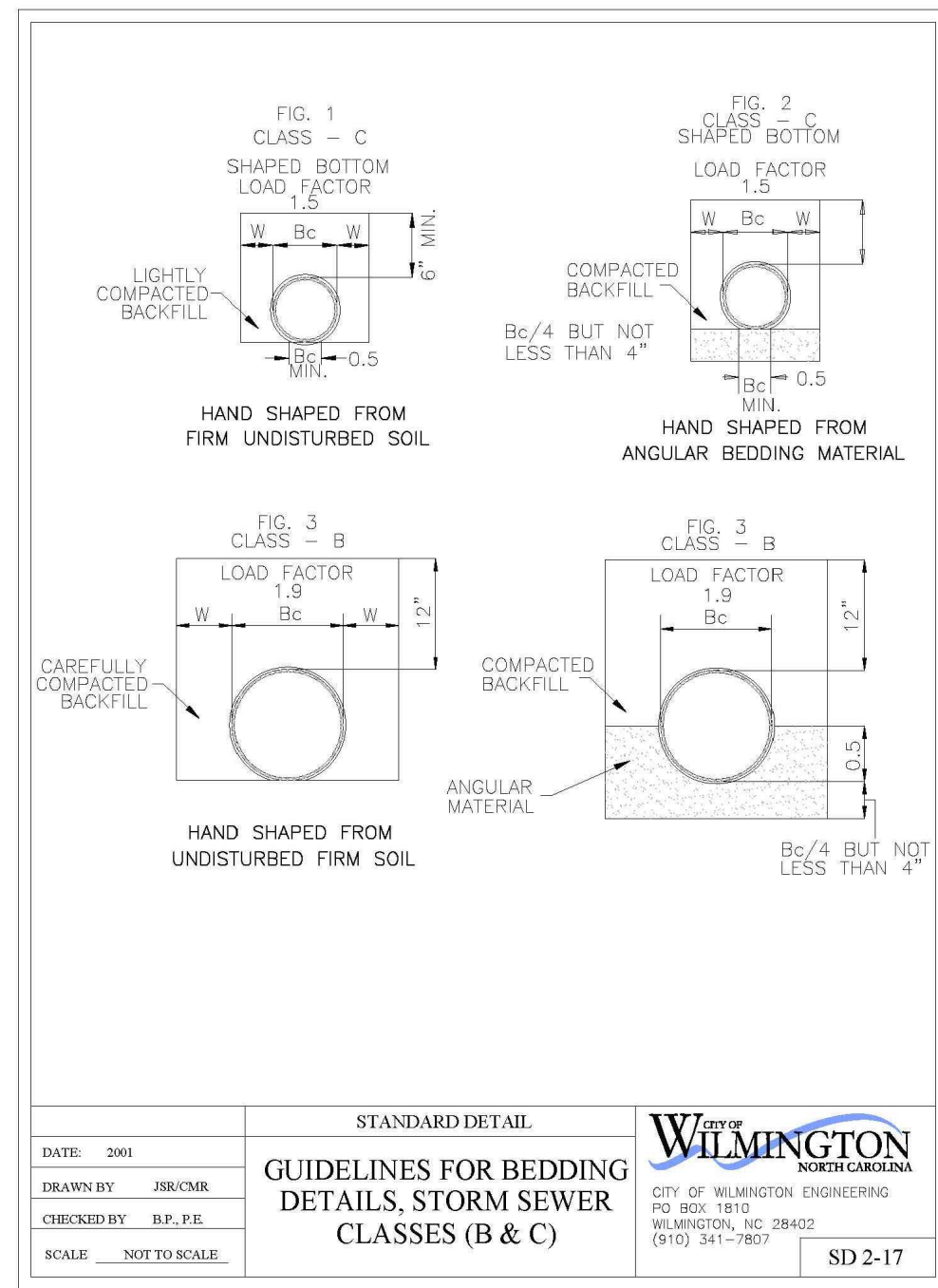
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 FINAL DESIGN LAYOUT:
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 02/27/2020
 SCALE: AS SHOWN
 DRAWN: PEI
 CHECKED: PEI

SEAL

C-5.1

PEI JOB#: 17402.PE



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
REVISED PER CITY TRC COMMENTS

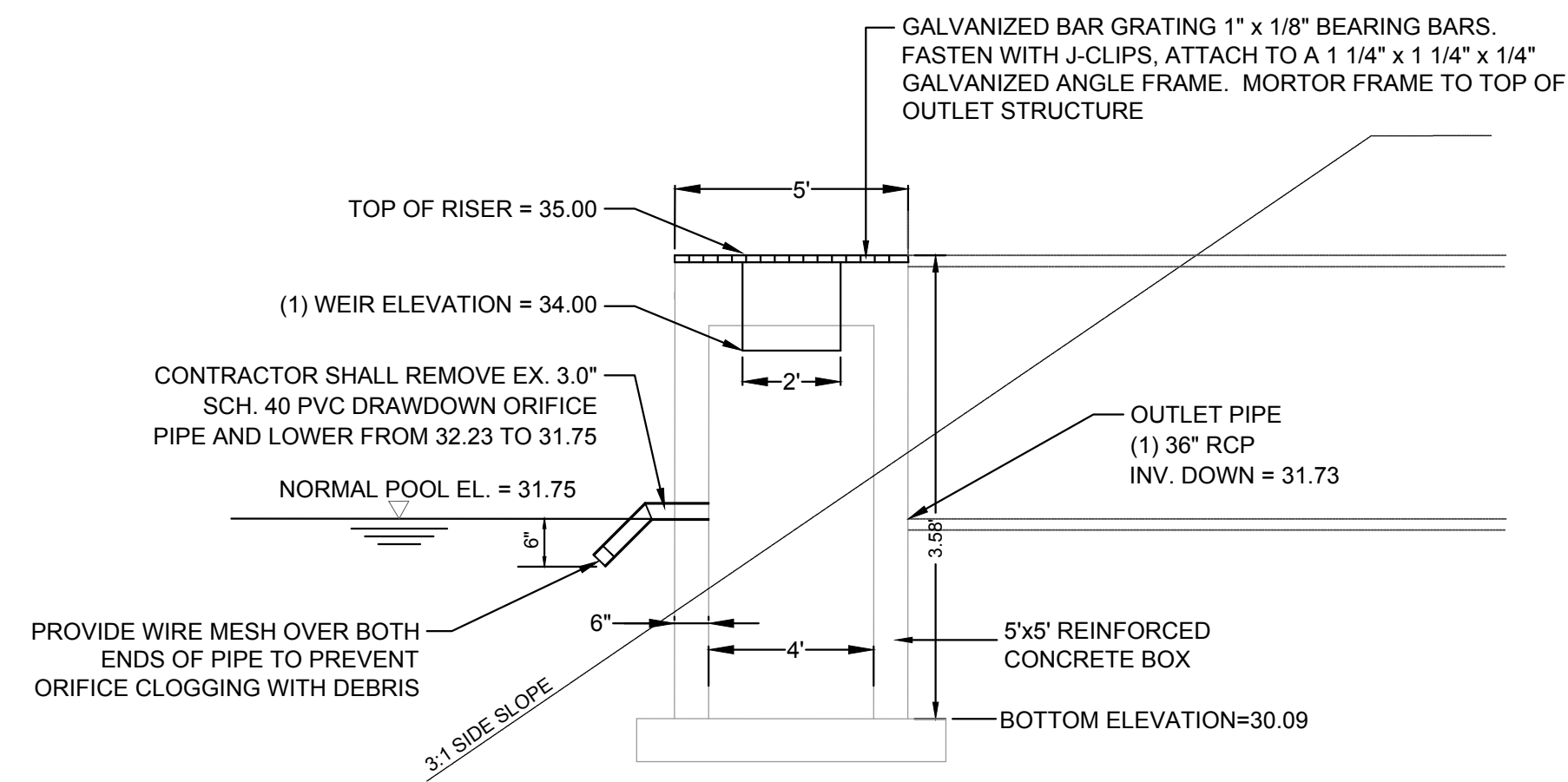
CLIENT INFORMATION:
GARRIS ROAD STORAGE HOLDINGS II, LLC
1111 CAMEL COMMONS BLVD, STE 207
CHARLOTTE, NC 28226

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6766 (F)
NC License #: C-28246

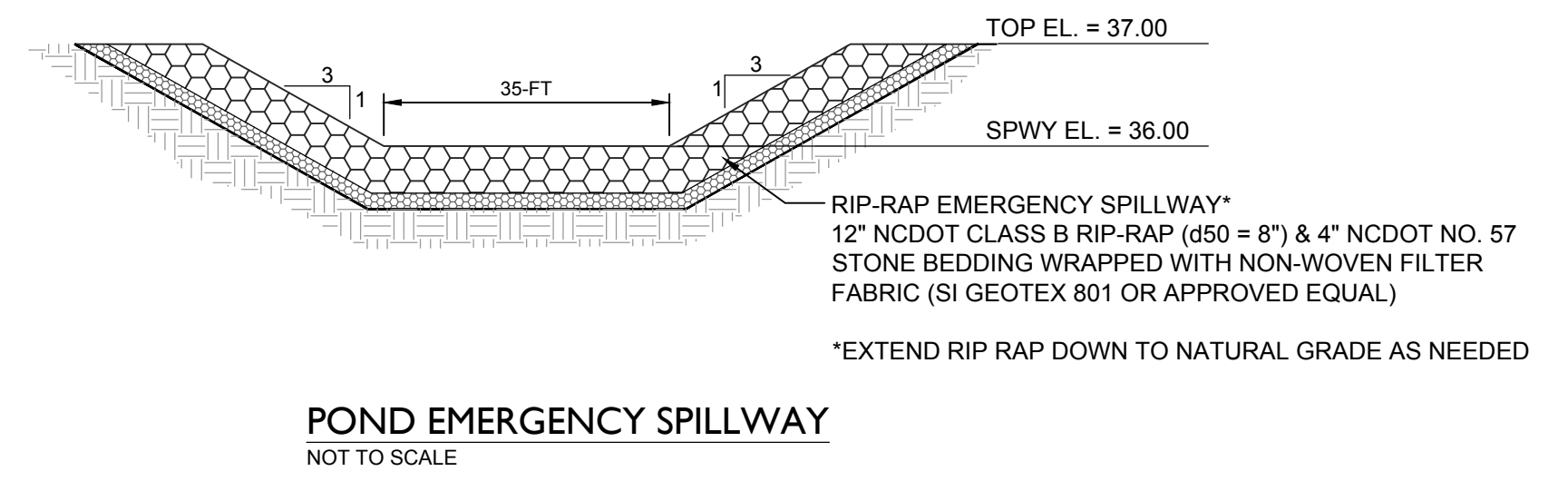
DETAILS
GARRIS ROAD LOT 3R BOAT STORAGE
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION:
DATE: 02/27/2020
SCALE: AS SHOWN
DRAWN BY: P.E.
CHECKED BY: P.E.

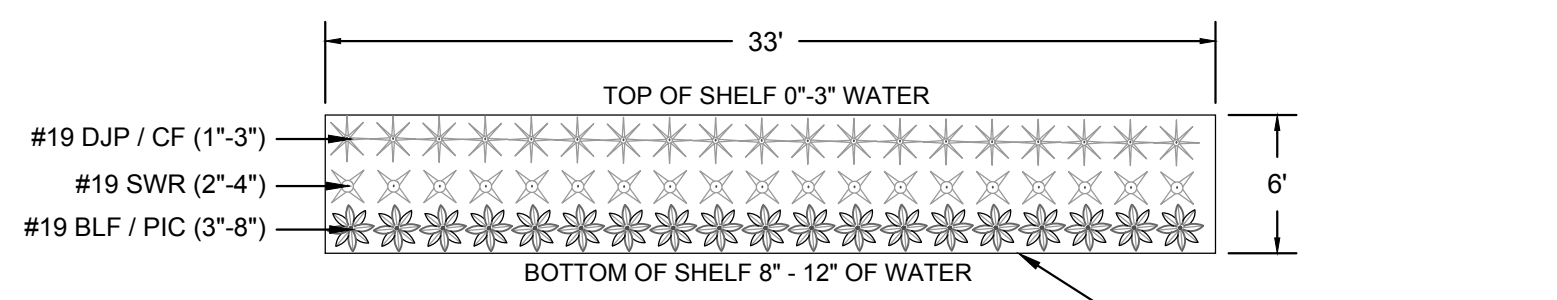
SEAL
C-5.2
PEI JOB#: 17402.PE



EX. POND OUTLET BOX (MODIFICATION)
NOT TO SCALE



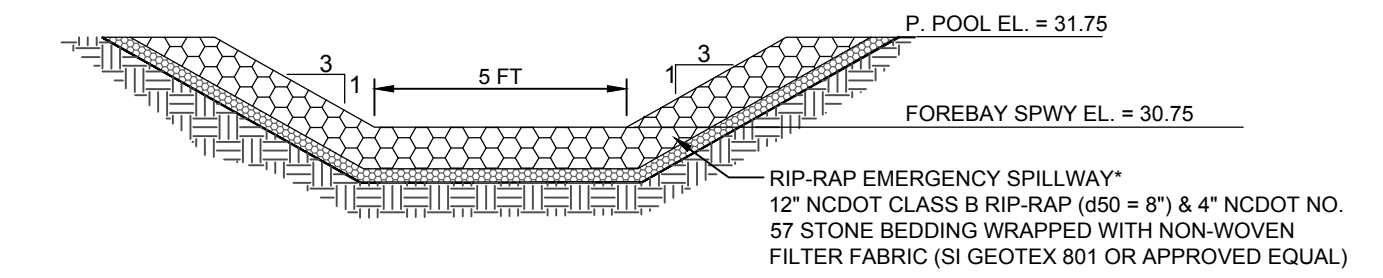
POND EMERGENCY SPILLWAY
NOT TO SCALE



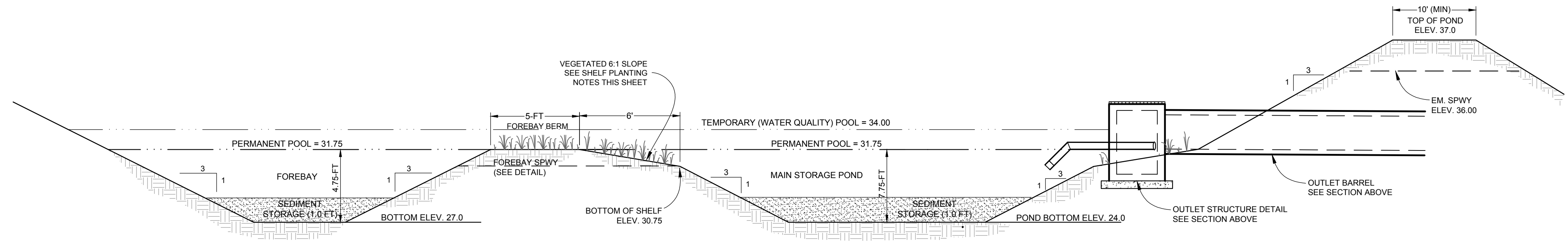
POND SHELF PLANTING
CONTRACTOR TO INSTALL ON THE 6:1 SLOPED SHELF PLANTS AS DETAILED. MIN. THREE SPECIES MUST BE PLANTED. TRIANGULAR SPACING @ 20" O.C.

SUITABLE PLANTS (PLANT SIZE = 2" PLUGS)
PIC - PICKERELWEED (PONTEDERIA CORDATA)
DJP - DWARF JOE PYE WEED (EUPATORIADELPHUS DUBIOUS)
SWR - SWAMP ROSE (HIBISCUS MOSHEUTOS)
BLF - BLUE FLAG (IRIS VIRGINICA)
CF - CARDINAL FLOWER (LOBELIA CARDINALIS)

VEGETATIVE SHELF PLANTING SECTION
NOT TO SCALE



FOREBAY SPILLWAY
NOT TO SCALE



STRUCTURAL BERM FILL SATISFACTORY SOILS:
SOILS WITH ORGANICS LESS THAN 2% WITH BETWEEN 30% AND 60% PASSING THE NO. 200 SIEVE WITH A PLASTICITY INDEX AND LIQUID LIMIT OF LESS THAN 20 AND 50 PERCENT, RESPECTIVELY WITH A UNIFIED SOIL CLASSIFICATION OF SC OR CL. FREE OF ROCK OR GRAVEL LARGER THAN 2" IN ANY DIMENSION, ROOTS, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER AS INDICATED BY ENGINEER. COMPACT TO MIN. 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY PER ASTM D 698; SOIL SHOULD BE MOISTURE CONDITIONED BY THE CONTRACTOR BY DRYING OR WETTING THE MATERIAL TO WITHIN +/- 3 PERCENT OF THE MATERIALS OPTIMUM MOISTURE CONTENT.

WET RETENTION POND I (POND MODIFICATION)
NOT TO SCALE

- WET DETENTION / SEDIMENT BASIN NOTES:**
- THE PROPOSED WET DETENTION POND SHALL BE USED DURING CONSTRUCTION AS A SEDIMENT BASIN UNTIL THE SITE IS FULLY STABILIZED.
 - THE CONTRACTOR SHALL CONSTRUCT THE SEDIMENT BASIN TO THE PROPOSED DEPTHS OF THE WET DETENTION POND AS ILLUSTRATED ON THE PLANS AND INSTALL THE PROPOSED OUTLET STRUCTURE. ONCE THE OUTLET STRUCTURE IS IN PLACE, THE CONTRACTOR SHALL IMMEDIATELY INSTALL THE SKIMMER TO THE PERMANENT POOL DRAWDOWN ORIFICE.
 - ONCE THE SITE IS STABILIZED THE CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM THE BASIN AND ESTABLISH THE FINISHED GRADES OF THE PROPOSED WET DETENTION POND.
 - REFER TO THE SEDIMENT BASIN DETAIL FOR THE REQUIRED SEDIMENT REMOVAL ELEVATIONS DURING CONSTRUCTION.
 - FOR MAINTENANCE EFFORTS OR IN CASE OF EMERGENCY, STORMWATER STORED BELOW PERMANENT POOL SHALL BE PUMPED.
 - ALL PROPOSED IMPERVIOUS SURFACE STORMWATER RUNOFF (INCLUDING ROOF DRAINAGE) MUST BE CONVEYED TO THE STORMWATER CONTROL MEASURE.
 - AS-BUILT STORMWATER NOTE [15A NCAC 02H.1044]:
THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE WET DETENTION BASIN, COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED, THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

City of WILMINGTON, NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS: REVISED PER CITY TRC COMMENTS 9/22/20	CLIENT INFORMATION: GARRIS ROAD STORAGE HOLDINGS II, LLC 5826 S AMET DRIVE, SUITE 105 HHIIG POINT, NC 27265
DETAILS GARRIS ROAD LOT 3R BOAT STORAGE 25 GARRIS RD, WILMINGTON, NC	
PROJECT STATUS CONCEPTUAL LAYOUT: FINAL DESIGN LAYOUT: RELEASED FOR CONSTRUCTION:	DRAWING INFORMATION DATE: 02/27/2020 SCALE: AS SHOWN DRAWN BY: RPB CHECKED: RPB
C-5.3 PEI JOB#: 17402.PE	